



## DEFERRED SUBMITTALS

1. NFPA 13R FIRE PROTECTION SYSTEM.
2. NFPA 72 FIRE ALARM SYSTEM.
3. UNDERGROUND FIRE LINE INSTALLATION

## GENERAL NOTES

1. THE WORD CONTRACTOR AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
2. THE TERM CONSTRUCTION DOCUMENTS SHALL MEAN ALL OF THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AND OTHER WRITTEN ORDERS ISSUED BY THE ARCHITECT'S, ENGINEERS' AND OTHER DESIGN PROFESSIONALS FOR THE PURPOSE OF CONSTRUCTING THE PROJECT.
3. CONTRACTOR SHALL PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IF THE CONTRACTOR BECOMES AWARE DURING THE PERFORMANCE OF THE WORK THAT THE CONSTRUCTION DOCUMENTS ARE AT VARIANCE WITH APPLICABLE CODE REQUIREMENTS. IF CONTRACTOR PERFORMS WORK WHICH HE KNOWS OR SHOULD KNOW IS CONTRARY TO APPLICABLE CODE REQUIREMENTS WITHOUT THE AGREEMENT OF OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH WORK AND SHALL BEAR THE RESULTANT LOSSES INCLUDING WITHOUT LIMITATION THE COSTS OR CORRECTING DEFECTIVE WORK.
4. CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (C.B.C.) AS AMENDED AS OF THE DATE OF THESE DRAWINGS AND WITH LOCAL ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION OVER OWNER, CONTRACTOR, ANY SUBCONTRACTOR, THE PROJECT, THE PROJECT SITE, THE WORK, OR THE PROSECUTION OF THE WORK.
5. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE WITH THE CONSTRUCTION DOCUMENTS SUCH FIELD MEASUREMENTS, CONDITIONS AND OTHER INFORMATION KNOWN TO CONTRACTOR BEFORE COMMENCING THE WORK. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AT ANY TIME SHALL BE PROMPTLY REPORTED IN WRITING TO THE OWNER.
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. ELEVATION DIMENSIONS ARE TO SUBFLOORS AND PLATES U.O.N. LARGER SCALE DRAWINGS TAKE PRECEDENCE OUT SMALLER SCALE DRAWINGS.
7. CONTRACTOR SHALL CAREFULLY STUDY AND REVIEW THE CONSTRUCTION DOCUMENTS AND INFORMATION FURNISHED BY OWNER AND SHALL PROMPTLY REPORT TO OWNER'S REPRESENTATIVE ANY ERRORS INCONSISTENCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR INCONSISTENCIES WITH APPLICABLE CODE REQUIREMENTS OBSERVED BY THE CONTRACTOR. IF CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY WHICH HE KNOWS OR SHOULD KNOW INVOLVES AN ERROR, INCONSISTENCY OR OMISSION REFERRED TO ABOVE WITHOUT NOTIFYING AND OBTAINING THE WRITTEN CONSENT OF OWNER'S REPRESENTATIVE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTANT LOSSES INCLUDING, WITHOUT LIMITATION, COSTS OF CORRECTING DEFECTIVE WORK.
8. ALL STANDARD NOTES CONTAINED HEREIN ARE TYPICAL UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION OF ALL SUB-CONTRACTORS WORK AND THE COMPLETION OF SAID WORK. CONTRACTOR SHALL REVIEW ALL MATERIALS AND WORKMANSHIP AND REJECT DEFECTIVE WORKMANSHIP WITHOUT WAITING FOR THE ARCHITECT OR OWNER TO REJECT THE WORK.
10. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.
11. BY SUBMITTAL OF BID, CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERWISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.
12. ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ESTABLISH QUALITY STANDARDS. SUBSTITUTIONS ARE PERMITTED WITH PRIOR APPROVAL BY OWNER.
13. WHERE CONSTRUCTION DETAILS FOR A PART OF THIS PROJECT ARE NOT SHOWN, THE WORK SHALL BE THE SAME AS OTHER SIMILAR WORK FOR WHICH DETAILS ARE SHOWN.
14. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR SCHEDULING AND THE WORK CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY AND FOR THE COMPLIANCE OF APPLICABLE OSHA SAFETY STANDARDS. JOB SITE OBSERVATIONS BY THE OWNER OR ARCHITECT ARE NOT INTENDED TO INCLUDE CHECKING THE CONTRACTOR'S SAFETY STANDARDS.
15. CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND MATERIALS STORED ON THE SITE FROM RAIN OR ANY ADVERSE WEATHER CONDITIONS, VANDALISM AND THEFT. ANY MATERIALS OR WORK LEFT UNPROTECTED AND THEN DAMAGED OR STOLEN SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
16. CONTRACTOR SHALL OBTAIN ALL CHANGE ORERS IN WRITING PRIOR TO COMMENCING ANY WORK NOT INCLUDED IN THE ORIGINAL CONTRACT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVAIDATE CONTRACTOR'S CLAIM TO ADDITIONAL COMPENSATION.
17. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY AND SEISMIC LOADS - AND TAKE COMPLETE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF SUCH BRACING - UNTIL ALL STRUCTURAL ITEMS HAVE BEEN COMPLETELY INSTALLED AS PER THE CONSTRUCTION DOCUMENTS.
18. CONTRACTOR SHALL GUARANTEE HIS WORK AND THAT OF HIS SUB-CONTRACTOR'S FOR MINIMUM OF ONE YEAR FROM THE DATE OF "SUBSTANTIAL COMPLETION." CONTRACTOR'S GUARANTEE SHALL NOT VOID OR SHORTEN ADDITIONAL WARRANTIES THAT MAY BE AVAILBALE TO THE OWNER THROUGH PRODUCT MANUFACTURERS OR CONSUMER LAWF.
19. THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED ON OTHER WORK.

# HILLCREST VILLAGE

## 13489 EAST 14th STREET, SAN LEANDRO, CA

## PROJECT DESCRIPTION

The project is a 9-unit townhouse development on a vacant lot, consisting of Building A (6,517 sf) and Building B (6,197 sf), with four (4) 2-bedroom units and five (5) 3-bedroom units. The buildings are on either side of a drive aisle entering from 135th Ave. Parking includes total of 17 parking spaces: 14 resident and guest parking spaces in garages and 3 resident and guest parking space in carports."

### PROJECT INFO

LOCATION: 13489 EAST 14th STREET  
SAN LEANDRO, CA 94577  
77D-1405-1-1

APN: 77D-1405-1-1

LOT SIZE: 12,588 SQ.FT.

PROPOSED GARAGE/COVERED CARPORT: 3,499 sq ft

PROPOSED BALCONY AREA: 505 sq ft

PROPOSED RESIDENTIAL FLOOR AREA, ALL STRUCTURES: 12,209 sq ft

TOTAL HARDSCAPE: 8,598 sq ft

CONSTRUCTION: TYPE V-A

ZONE/HEIGHT: SA-2

OCCUPANCY: R2

FIRE SPRINKLERS: Yes

**BUILDING A**

HEIGHT STORIES AREA: 30' 3

FOOTPRINT BUILDING AREA: 3,066 SF 6,517 SF

**BUILDING B**

HEIGHT STORIES AREA: 30' 3

FOOTPRINT BUILDING AREA: 2,797 SF 6,197 SF

## ABBREVIATIONS

(M)	MODIFY	(M)	MODIFY	(N)	NEW
AB	ANCHOR BOLT	EMBD	EMBEDMENT	NA	NOT APPLICABLE
ABV	ABOVE	ENCL	ENCLOSURE	ENGR	ENGINEER
AC	ASPHALT CONCRETE	EOS	EDGE OF SLAB	NIC	NOT IN CONTRACT
ACCES	ACCESSORY	EP	ELECTRICAL PANEL	NTS	NOT TO SCALE
ACOUS	ACOUSTIC(AL)	EPDM	ETHYLENE PROPYLENE DIENE M-CLASS		
ACT	ACOUSTICAL CEILING TILE	EQ	EQUAL	OC	ON CENTER
AD	AREA DRAIN	EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER
ADH	ADHESIVE	EXP	EXPANSION	OPNG	OPENING
ADJ	ADJUSTABLE	EXP BT	EXPANSION BOLT	OPP	OPPOSITE
AF	ABOVE FINISH FLOOR	EXP JT	EXPANSION JOINT	OVHD	OVERHEAD
AFG	ABOVE FINISH GRADE	EXT	EXTERIOR	PERF	PERFORATED
AFS	ABOVE FINISH SLAB			PERP	PERPENDICULAR
AGGR	AGGREGATE	FD	FLOOR DRAIN	PL	PLATE, PROPERTY LINE
AL, ALUM	ALUMINUM	FDC	FIRE DEPARTMENT CONNECTION	PLAM	PLASTIC LAMINATE
ALT	ALTERNATE	FDN	FOUNDATION	PLYWD	PLYWOOD
ANOD	ANODIZED	FEC	FIRE EXTINGUISHER CABINET	PROP	PROPERTY
AP	ACCESS PANEL	FHC	FIRE HOSE CABINET	PVC	POLYVINYL CHLORIDE
APPROX	APPROXIMATE	FIN	FINISH	PVIG	PAVING
ARCH	ARCHITECTURAL	FIN FL	FINISH FLOOR	PVMT	PAVEMENT
AUTO	AUTOMATIC	FIN GR	FINISH GRADE	PWR	POWER
AVG	AVERAGE	FLOOR(ING)	FLOOR(ING)	QTY	QUANTITY
		FLR SK	FLOOR SINK	RA	RETURN AIR
BD	BOARD	FLUOR	FLUORESCENT	RCF	REFLECTED CEILING PLAN
BET	BETWEEN	FOC	FACE OF CONCRETE	REF	REFERENCE
BETUM	BITUMINOUS	FOM	FACE OF MASONRY	REFR	REFRIGERATOR
BKG	BACKING	FOS	FACE OF STUD	REG	REGISTER
BLDG	BUILDING	FTG	FOOTING	REINF	REINFORCE(D)(ING)(MENT)
BLK	BLOCK	FURN	FURNITURE	RESIL	RESILIENT
BLKG	BLOCKING	FURR	FURRING	RET	RETURN
BM	BEAM			REV	REVISION
BOT	BOTTOM	GA	GAUGE, GAGE	RH	RIGHT HAND
BRKT	BRACKET	GALV	GALVANIZED	RM	ROOM
BU	BUILT UP	GC	GENERAL CONTRACTOR	RND	ROUND
BURS	BUILT UP ROOFING SYSTEM	GFRG	GLASS-FIBER REINFORCED CONCRETE	RO	ROUGH OPENING
		GFRG	GLASS-FIBER REINFORCED GYPSUM	ROW	RIGHT OF WAY
CAB	CABINET	GL	GLASS	RWL	RAIN WATER LEADER
CB	CATCH BASIN	GLU LAM	GLUE LAMINATED		
CEM	CEMENT	GLZ	GLAZING	SA	SUPPLY AIR
CEM PLAS	CEMENT PLASTER	GND	GROUND	SCHED	SCHEDULE
CER	CERAMIC	GR	GRADE, GRADING	SCRN	SCREEN
CER TILE	CERAMIC TILE	GYP BD	GYPSUM BOARD	SECT	SECTION
CL	CENTER LINE	GYP PLAS	GYPSUM PLASTER	SHT	SHEET, SHEETING
CLG	CEILING			SIM	SIMILAR
CLJ	CONTROL JOINT	HB	HOSE BIBB	SMS	SHEET METAL SCREW
CLR	CLEAR	HD	HEAD	SPEC	SPECIFICATION
CMU	CONCRETE MASONRY UNIT	HSS	HOLLOW STRUCTURAL STEEL	SPKLR	SPRINKLER
CNTR	COUNTER	HVAC	HEATING VENTILATION AIR CONDITIONING	SQ	SQUARE
COL	COLUMN			SQ FT	SQUARE FOOT
CONC	CONCRETE	HW	HOT WATER	SQ IN	SQUARE INCH
CONF	CONFERENCE	ID	INSIDE DIAMETER	SS	SANITARY SEWER
CONN	CONNECTION	INSUL	INSULATION	SST	STAINLESS STEEL
CONT	CONTINUOUS			STAG	STAGGERED
CSWK	CASEWORK			STC	SOUND TRANSMISSION CLASS
CUST	CUSTOM	JB	JUNCTION BOX	STD	STANDARD
CW	COLD WATER	JT	JOINT	STL	STEEL
		LAM	LAMINATE, LAMINATION	STRUCT	STRUCTURAL
DBL	DOUBLE	LAV	LAVATORY	STS	SELF-TAPPING SCREW
DEMO	DEMOLISH	LF	LINEAR FOOT	SUSP	SUSPENDED
DF	DRINKING FOUNTAIN	LH	LEFT HAND	SUSP CLO	SUSPENDED CEILING
DIA	DIAMETER	LIN	LINEAR		
DIAG	DIAGONAL	LT WT	LIGHT WEIGHT	T&B	TOP AND BOTTOM
DIFF	DIFFUSER	MATL	MATERIAL	T&G	TONGUE AND GROOVE
DIM	DIMENSION	MAX	MAXIMUM	TEL	TELEPHONE
DIM PT	DIMENSION POINT	MB	MACHINE BOLT	TEMP	TEMPORARY
DIST	DISTANCE	MECH	MECHANICAL	THK	THICK, THICKNESS
DN	DOWN	MEMB	MEMBRANE	TOP OF	TOP OF
DR	DRAIN	MET, MTL	METAL	TOC	TOP OF CONCRETE, TOP OF CURB
DWG	DRAWING	MFR	MANUFACTURER	TOL	TOLERANCE
		MH	MANHOLE	TOP	TOP OF PAVEMENT
(E)	EXISTING	MIN	MINIMUM	TOS	TOP OF STEEL, TOP OF SLAB
EA	EACH	MISC	MISCELLANEOUS	TOW	TOP OF WALL
EB	EXPANSION BOLT	MTD	MOUNTED	TS	TUBE STEEL
EIFS	EXT. INSUL. FINISH SYSTEM	MTG	MOUNTING	TYP	TYPICAL
EL	ELEVATION			UON	UNLESS OTHERWISE NOTED
ELAST	ELASTOMERIC			UTIL	UTILITY
ELEC	ELECTRICAL			VCT	VINYL COMPOSITION TILE
ELEV	ELEVATOR			VIF	VERIFY IN FIELD

### BUILDING AREAS

Building A		Building B		Total
Ground Floor Area	968 SF	Ground Floor Area	1,031 SF	
Second Floor	2,624 SF	Second Floor	2,340 SF	
Third Floor	2,670 SF	Third Floor	2,576 SF	
Total	6,262 SF	Total	5,947 SF	12,209 SF
Second Floor balconies	141 SF	Second Floor balconies	250 SF	
Third Floor balconies	114 SF	Third Floor balconies	0 SF	
Total	255SF	Total	250 SF	505 SF
Total Floor Area Building A	6,517 SF	Total Floor Area, Building B	6,197 SF	12,714 SF
Ground Floor Garages/Carports	1,931 SF	Ground Floor Garages/Carports	1,568 SF	3,499 SF
		Trash Enclosure	225 SF	225 SF

Proposed Lot Coverage 5,863 SF / 12,588 SF (lot size) \* 100% = 46.6 %

Max Lot Coverage 100%

Proposed Floor Area Ratio 12,714 SF / 12,588 SF (lot size) = 1.01 FAR

Max Floor Area Ratio 1.5 FAR

Landscaping

Proposed Landscaping 1,420 SF / 12,588 SF (lot size) \* 100% = 11.2 %

Min Site Landscaping 10%

Paving

Pervious 2300 sq ft

Impervious 2379 sq ft

## DRAWING INDEX

### ARCHITECTURE

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A8.1	BUILDING MATERIAL BOARD
A8.2	SITE MATERIAL BOARD
A8.3	ARCHITECTURAL RENDERS

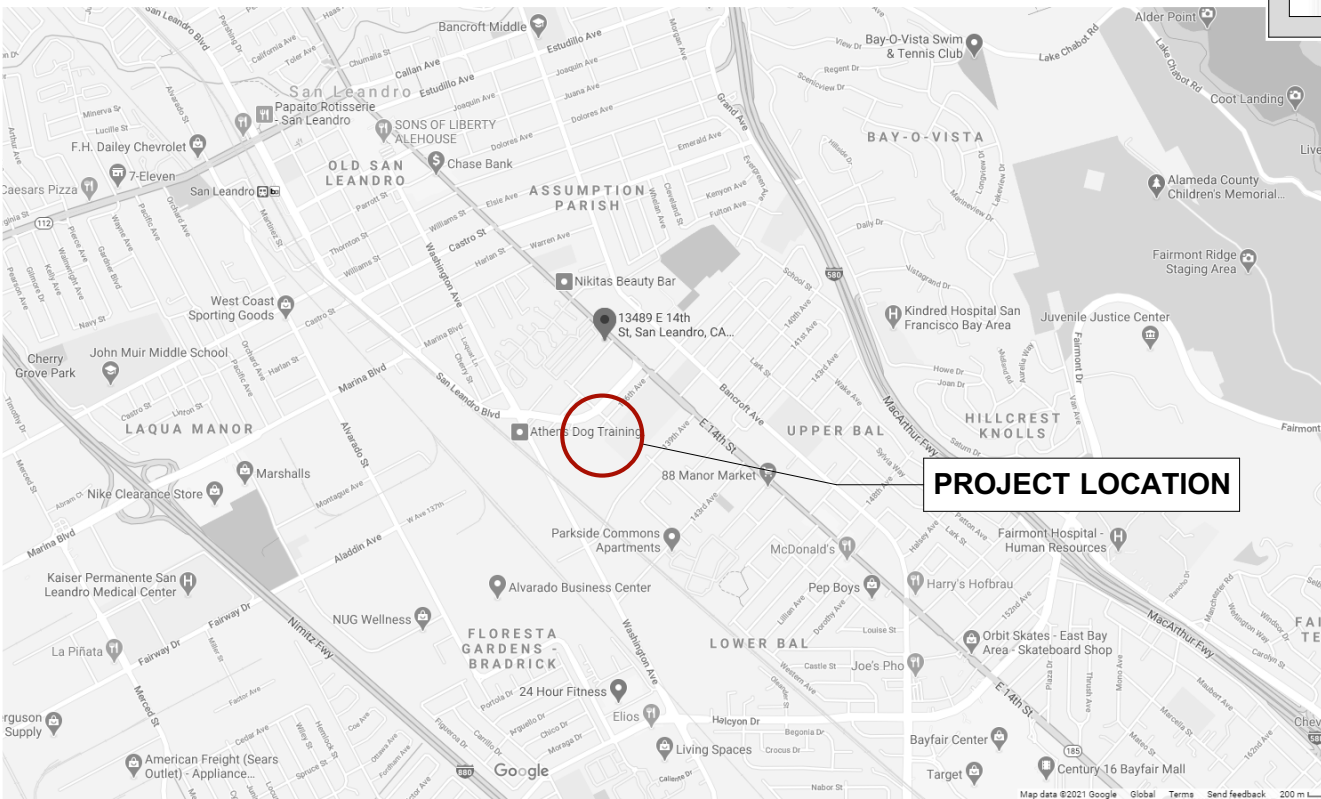
### VESTING TENTATIVE PARCEL MAP

VTPM-1	VESTING TENTATIVE PARCEL MAP
VTPM-2	PRELIMINARY GRADING, DRAINAGE AND UTILITY P...
VTPM-3	PRELIMINARY STORM WATER CONTROL PLAN

### LANDSCAPE

L-1.0	SITE LAYOUT PLAN & NOTES
L-2.0	HARDSCAPE DETAILS
L-3.0	IRRIGATION DESIGN PLAN
L-4.0	PLANTING PLAN & NOTES

## PROJECT LOCATION MAP



## PROJECT CONTACTS

OWNER: Shoonya LLC  
33837 6th Street,  
Union City, CA 94587  
E: realchris201@gmail.com  
T: (505) 353-1173

ARCHITECT: Eloyan Architects  
1032 Second st. #7  
Lafayette, CA 94549  
E: info@eloyan.com  
T: (773)-504-7486

CIVIL ENGINEER: Debolt Engineering  
480 San Ramon Valley Rd.  
Danville, CA 94526  
E: Office@deboltcivil.com  
T: (925) 837-3780

CONTRACTOR: TBD

ENERGY CONSULTANT Energy Consult LLC Igor Pichko, CEA  
www.title24ez.com T: (424) 247-7658

LANDSCAPE ARCHITECT Aaron Reddick (916) 260-5094  
aaron@lowwaterlandscapes.com

## CONDITIONS OF APPROVAL

1. Pursuant to Government Code Section 66020, including Section 66020 (d) (1), the City HEREBY NOTIFIES the applicant for this Project that the 90-day approval
2. The proposed development shall comply with City ordinances, policies, and regulations. All improvements shall be in accordance with the City's Design Standards, Specifications and Standard Plans unless otherwise specifically approved by the City Engineer.
3. The applicant shall pay design review fees, permit fees, inspection fees, sewer connection fees, and any other fees charged by the City or other reviewing agencies for the review, approval, permitting and inspection of the public and/or private improvements.
4. The applicant shall have site improvements designed and stamped by a civil engineer registered to practice within the State of California. Applicant shall obtain approval of the City Engineer for all on and off-site improvements prior to the issuance of Building Permits for the project.
5. If the design of any site improvement requires encroachments onto neighboring properties during construction, the applicant shall submit written agreements with that property owner to the City Engineer, for review and approval, prior to approval of the building permit.
6. The applicant shall remove any unused driveways or damaged driveways, sidewalk, and curb and gutter along the full property frontage and shall construct new City standard driveway, sidewalk, curb, and gutter in place of the removed items.
7. A Grading Permit is necessary for this project. The requirements for said permit are indicated in San Leandro Municipal Code §7-12. The Grading Permit can be processed prior to or concurrent with the Building Permit(s).
8. The applicant shall comply with the regulations and provisions contained in the City's Grading Ordinance, the City's Storm Water Pollution Prevention Permit, and the National Pollutant Discharge Elimination System (NPDES), to the satisfaction of the City Engineer. More information may be found at [www.cleanwaterprogram.org/](http://www.cleanwaterprogram.org/) ->http://www.cleanwaterprogram.org/?Storm water runoff from this site will need to be treated before it enters the storm drain system.
9. The applicant shall comply with the following high standards for sanitation during construction of improvements: Garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.
10. All outdoor storage of parts and equipment shall be raised and covered.
11. Interior floor drains shall be plumbed to the sanitary sewer system and shall not be connected to storm drains.
12. Wastewater from vehicle and equipment washing operations shall not be discharged into the storm drain system.
13. Secondary containment shall be provided for exterior work areas where motor oil, brake fluid, gasoline, diesel fuel, radiator fluid, acid-containing batteries or other hazardous materials or hazardous wastes are used or stored. Drains shall not be installed within the secondary containment areas.
14. Tanks, containers, or sinks used for parts cleaning and rinsing shall not be connected to the storm drain system. Tanks, containers, or sinks used for such purposes may only be connected to the sanitary sewer system if allowed by an industrial waste discharge permit. The applicant shall contact City of San Leandro Wastewater Pollution Control Plant for specific connection and discharge requirements.
15. Install RWQCB approved trash inserts at the proposed storm drain connections at the existing inlets at the proposed storm drain connections. See the most recent approved list located here: [https://www.waterboards.ca.gov/water\\_issues/programs/stormwater/docs/trash\\_implementation/certified\\_fc\\_sdevicelist\\_16Feb2021.pdf](https://www.waterboards.ca.gov/water_issues/programs/stormwater/docs/trash_implementation/certified_fc_sdevicelist_16Feb2021.pdf)
16. The applicant shall submit a detailed Operations and Maintenance (O&M) agreement in accordance with MRP Section C.3.h. The O&M agreement shall be required prior to Grading Permit issuance.
17. The applicant shall reduce storm water pollution by implementing the following pollution source control measures:
  - a. Structures shall be designed to discourage the occurrence and entry of pests into buildings, thus minimizing the need for pesticides. The trash area shall be separated from the rest of the building by concrete or masonry walls so that pests that gain access to the area are less likely to access the rest of the building.
  - b. All storm drains shall be marked "NO DUMPING, DRAINS TO BAY".
  - c. All on-site storm drains shall be inspected and, if necessary, cleaned at least twice a year immediately prior to the rainy season.
  - d. Sidewalks and parking lots shall be swept regularly to minimize the accumulation of litter and debris. Steam cleaning or low volume pressure washing may be performed only after pre-cleaning using dry methods, spot cleaning and recovery in stained areas and removal of all mobile pollutants. Debris resulting from pressure washing shall be trapped and collected to prevent entry.
    - a. into the storm drain system. Wash water containing any soap, cleaning agent or degreaser shall not be discharged to the storm drain.
    - e. Interior floor drains (if any) shall not be connected to the storm drain system.
    - f. The property shall be swept regularly to minimize the accumulation of litter and debris. Loaded trucks entering or exiting the site must have their loads covered with tarps to prevent debris from escaping.
    - g. Air conditioning condensate shall be directed to landscaped areas. Any air conditioning condensate that discharges to land without flowing to a storm drain may be subject to the requirements of the State Water Resources Control Board's (SWRCB) Statewide General Waste Discharge Requirements (WDRs) for Discharges to Land with a Low Threat to Water Quality.
    - h. Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate, and minimize the use of fertilizers and pesticides that can contribute to storm water pollution.
    - i. Where feasible, landscaping shall be designed and operated to treat storm water runoff by incorporating elements that collect, detain, and infiltrate runoff. In areas that provide detention of water, plants that are tolerant of saturated soil conditions and prolonged exposure to water shall be specified.
    - j. Plant materials selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, air movement, patterns of land use, ecological consistency and plant interactions to ensure successful establishment.
    - k. Selection of the plants shall require careful pesticide use.
    - l. Irrigation shall be appropriate to the water requirements of the selected plants.
    - m. The applicant shall select pest and disease resistant plants.
    - n. The applicant shall plant a diversity of species to prevent a potential pest infestation from affecting the entire landscaping plan.
    - o. The applicant shall plan insectary plants in the landscaping to attract and keep beneficial insects.

HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

NO	REVISION	DATE
1		2022.06.15
2		2023.02.13

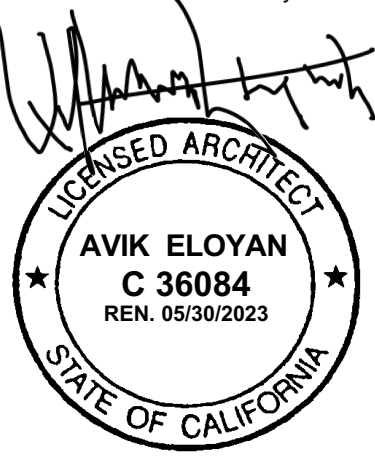
### PRODUCTION DATE

January 31, 2022

### PROJECT DATA

A0.0





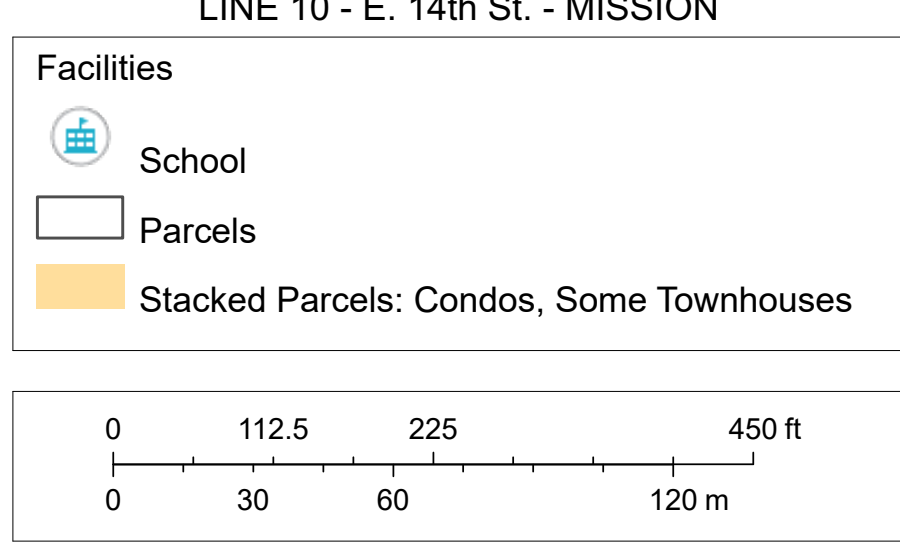
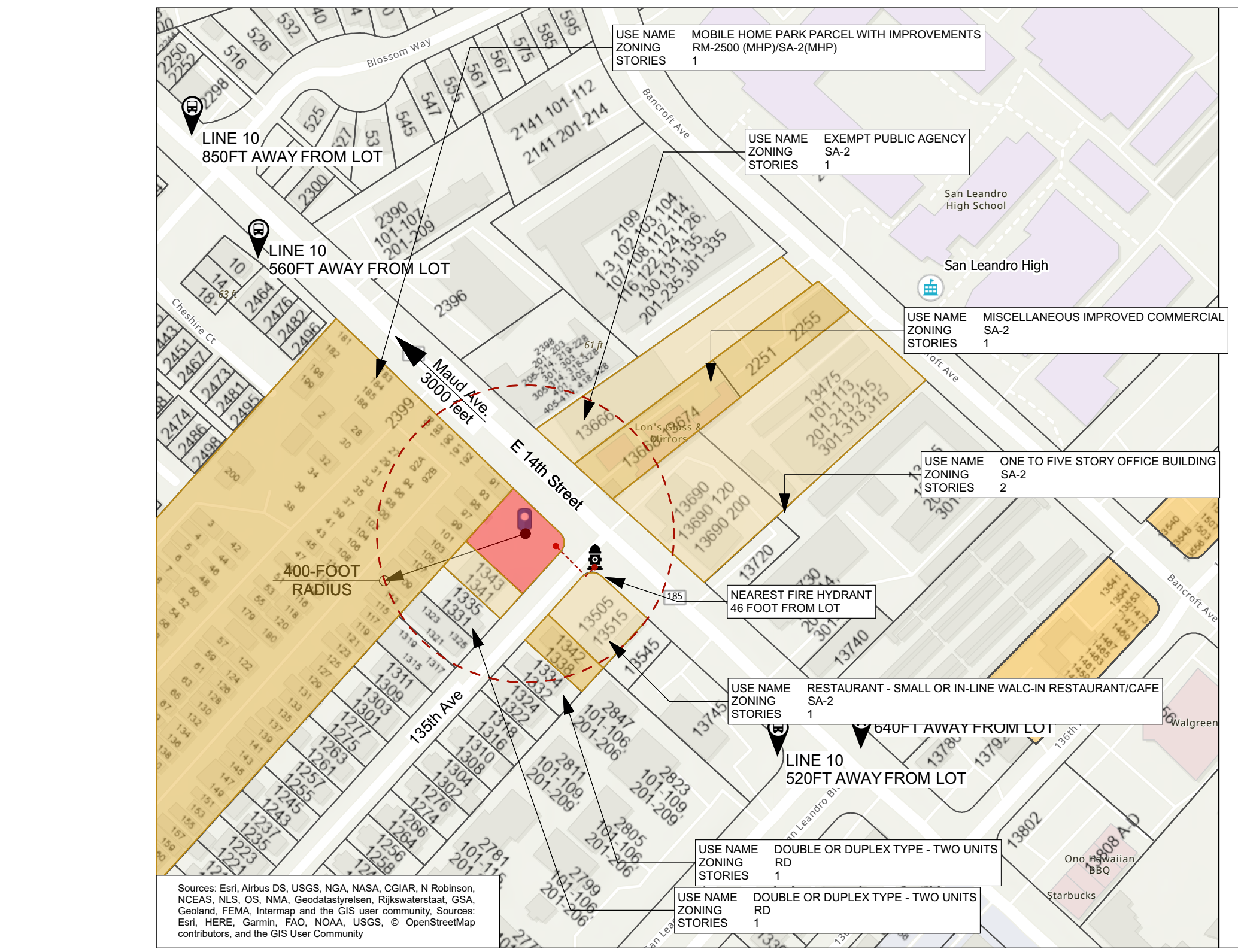
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and areas and shall immediately report any discrepancies to the Architect. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

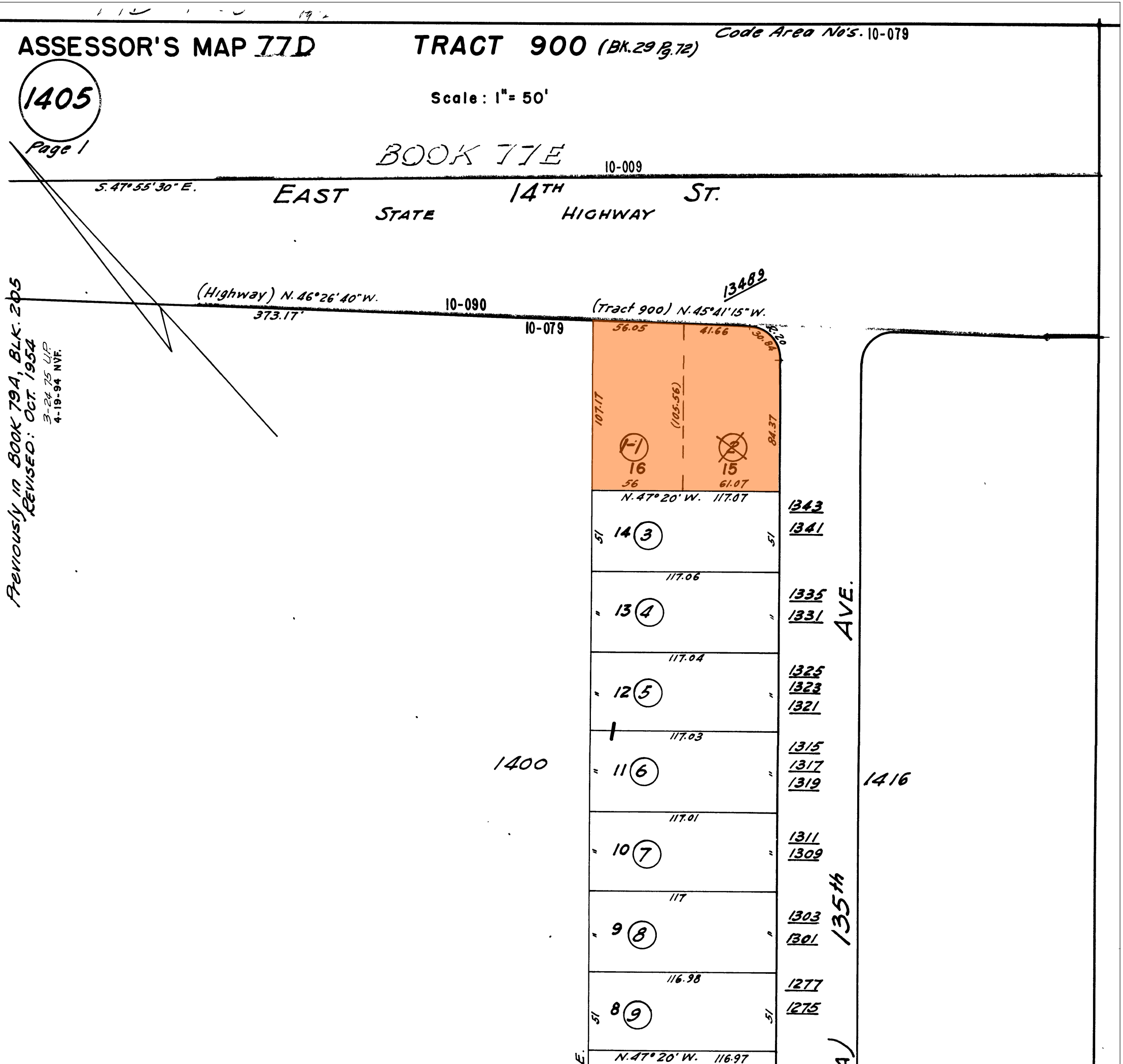
NO	REVISION	DATE
1		2022.06.15
2		2023.02.13

PRODUCTION DATE  
January 31, 2022

PLANNING INFORMATION  
A0.1



OPEN SPACE TABLE				
Unit Number	Story		Measured Area	Required (sq.ft.)
UNIT1	GROUND LEVEL	FRONT YARD	149.26	
	SECOND STORY	BALCONY	60.00	60
UNIT2	GROUND LEVEL	FRONT YARD	155.46	
	THIRD STORY	BALCONY	38.14	60
UNIT3	GROUND LEVEL	FRONT YARD	163.52	
	SECOND STORY	BALCONY	21.09	60
UNIT4	GROUND LEVEL	FRONT YARD	160.83	
	THIRD STORY	BALCONY	34.26	60
UNIT5	GROUND LEVEL	FRONT YARD	143.26	
	SECOND STORY	BALCONY	60.00	60
UNIT6	SECOND STORY	BALCONY	59.69	60
UNIT7	SECOND STORY	BALCONY	60.00	60
UNIT8	SECOND STORY	BALCONY	60.00	60
UNIT9	SECOND STORY	BALCONY	69.68	60
			1,276.21 ft <sup>2</sup>	



PLAT PLAN

## Article 2. Development Regulations

### 2.08.300 Property Development Regulations: Commercial and Professional Districts

The following sections set forth the property development regulations of the CC, CN, CR, C-RM, CS, DA-1, DA-2, DA-3, DA-4, NA-1, NA-2, P, SA-1, SA-2, and SA-3 Districts. In addition, development in the SA-1, SA-2 or SA-3 Districts shall be consistent with the Design Guidelines in the East 14th Street South Area Development Strategy.

### 2.08.308 Minimum Yards

A. **Minimum Building Setback.** The minimum setback for building placement, is as prescribed below. Additional building setback may also apply as specified in Subsections B, C, D, E, and F of this section.

Zoning District	Front (ft.)	Side (ft.)	Corner Side (ft.)	Rear (ft.)	Daylight Plane and Yards Abutting R Districts
CC	10	0	10	0	15 ft. side or rear <sup>(1)</sup>
CN, P	10	0	10	0	15 ft. side or rear <sup>(2)</sup>
CR	20	0	20	0	15 ft. side or rear <sup>(2)</sup>
CS	10	0	10	0	15 ft. side or rear <sup>(2)</sup>
DA-1, DA-2, DA-3, DA-4, DA-6	Varies <sup>(3)</sup>	0	0 <sup>(3)</sup>	0, varies along creek <sup>(3)</sup>	EXCEPTION See Inclusionary Housing Plan
NA-1	0	4	0	5	n.a.
NA-2	20 or 25 <sup>(4)</sup>	15 <sup>(4)</sup>	20 <sup>(4)</sup>	15 <sup>(4)</sup>	25 ft. rear for second story 35 ft. rear for third story <sup>(5)</sup>
SA-1, SA-2, SA-3	Varies <sup>(6)</sup>	0	0 <sup>(6)</sup>	0	8 ft. side or rear <sup>(7)</sup>

#### E. Additional Building Setback Requirements—SA-1, SA-2, and SA-3 Districts

- If ground floor residential is proposed, a five to ten foot building setback shall be required.
- South of Blossom Way, front setbacks shall achieve a 13.5-foot wide sidewalk.

### 2.08.312 Height of Structures

Zoning District	Nonresidential Development		Residential and Mixed-Use Residential Development	
	Minimum Height (ft.)	Maximum Height (ft.)	Minimum Height (ft.)	Maximum Height (ft.)
CC	n.a.	50	n.a.	50
CN, NA-1, NA-2	n.a.	30	n.a.	50
CR, CS	n.a.	40	n.a.	n.a.
DA-1	n.a. or 24 <sup>(A)</sup>	75 <sup>(B, C)</sup>	n.a. or 24 <sup>(A)</sup>	75 <sup>(B, C)</sup>
DA-2	n.a. or 24 <sup>(A)</sup>	50 <sup>(B, C)</sup>	n.a. or 24 <sup>(A)</sup>	50 <sup>(B, C)</sup>
DA-3	n.a.	50 <sup>(B)</sup>	n.a.	50 <sup>(B)</sup>
DA-4	n.a.	60, 75 <sup>(B)</sup>	n.a.	60, 75 <sup>(B)</sup>
DA-6	n.a.	75 <sup>(B)</sup>	n.a.	75 <sup>(B)</sup>
P	n.a.	30	n.a.	30
SA-1, SA-2, SA-3	24	50	24	50

### 2.08.316 Lot Coverage

Zoning District	Maximum Lot Coverage
CC, CN, CS, P	50%
CR	25%
DA-1, DA-2, DA-3, DA-4, DA-6, NA-1, NA-2, SA-1, SA-2, SA-3	100%

### 2.08.320 Floor Area Ratio (FAR)

Zoning District	Minimum FAR	Maximum FAR
CC	n.a.	1.0
CN	n.a.	0.5
CR	n.a.	1.0
CS	n.a.	0.5
DA-1	n.a.	3.5
DA-2	n.a.	1.0
DA-3	n.a.	3.5
DA-4	n.a.	4.0
DA-6	1.0	4.0
NA-1, NA-2	n.a.	1.0
P	n.a.	0.5
SA-1, SA-2, SA-3	n.a.	1.0

### 2.08.324 Minimum Site Landscaping

A. **General Landscape Requirements.** In addition to the general requirements prescribed in Chapter 4.16 Landscape Requirements, the following requirements for minimum site landscaping apply to all property within commercial and professional districts. The minimum percentage of the site that shall be used for landscaping shall be as prescribed below:

Zoning District	Minimum Site Landscaping
CN, NA-1, P, SA-1, SA-3, CR, DA-1, DA-2, DA-3, DA-4, DA-6	5% <sup>(C)</sup>
CC, CS, NA-2, SA-2	10% <sup>(C)</sup>

### 2.08.332 Density for Multi-Family Residential and Mixed-Use Residential Development

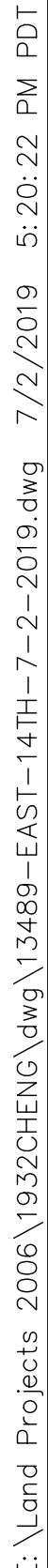
A. **Density for Multi-Family Residential and Mixed-Use Residential Development.** The minimum and maximum density for residential and mixed-use development is as prescribed below, except that in the Corridor Mixed Use (CMU) General Plan Land Use Designation, maximum residential density in this category is dictated by applicable floor area ratio (FAR) limits rather than limits on dwelling units per acre. For minimum and maximum density calculations that result in fractional amounts, numbers of one-half or greater shall be rounded up to the nearest whole integer, numbers less than one-half shall be rounded down to the nearest whole integer.

Zoning District	Minimum Density (Dwelling Unit / Acre)	Maximum Density (Dwelling Unit / Acre) <sup>*</sup>
CC, CN, C-RM	n.a.	24 <sup>(B)</sup>
CR, CS	n.a.	n.a.
DA-1	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 35	Parcels < 10,000 sf: 24 <sup>(B)</sup> Parcels ≥ 10,000 sf: 100 <sup>(B)</sup>
DA-2	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 20	Parcels < 10,000 sf: 24 <sup>(B)</sup> Parcels ≥ 10,000 sf: 40 <sup>(B)</sup>
DA-3	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 20	Parcels < 10,000 sf: 24 <sup>(B)</sup> Parcels ≥ 10,000 sf: 60 <sup>(B)</sup>
DA-4	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 60	Parcels < 10,000 sf: 24 <sup>(B)</sup> Parcels ≥ 10,000 sf: 100 <sup>(B)</sup>
DA-6	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 60	Parcels < 10,000 sf: 24 <sup>(B)</sup> Parcels ≥ 10,000 sf: n.a.
NA-1, NA-2, P	n.a.	24
SA-1, SA-2, SA-3	19 <sup>(C)</sup>	35

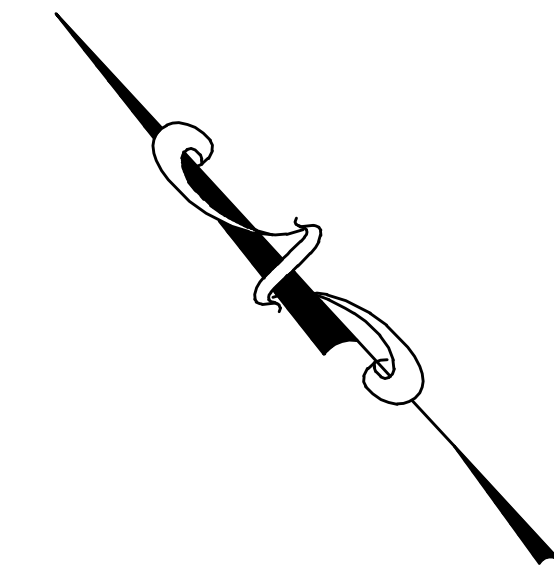
<sup>\*</sup> For properties within the Corridor Mixed Use (CMU) General Plan Land Use Designation maximum residential density in this category is dictated by applicable floor area ratio (FAR) limits rather than limits on dwelling units per acre.

## 2.08.300 PROPERTY DEVELOPMENT REGULATIONS: COMMERCIAL AND PROFESSIONAL DISTRICTS (SA-2)





ALAMEDA COUNTY — CALIFORNIA  
SCALE: 1 INCH = 10 FEET MARCH 2019



A circular professional seal for a Licensed Land Surveyor in the State of California. The outer ring contains the text "LICENSED LAND SURVEYOR" at the top and "STATE OF CALIFORNIA" at the bottom, separated by two five-pointed stars. The inner circle contains the name "DYLAN M. GONSALVES" and the license number "NO. 8475".

SHEET 1  
OF 1 SHEETS  
ORIG.DWG: 3-15-2019  
REV.DWG: \_\_\_\_\_  
JOB: 19-32





## 2019 Cal Green Residential Mandatory Measures

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the buildings conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT # \_\_\_\_\_ ADDRESS: \_\_\_\_\_

Feature or Measure (for full details of code requirements, see the 2019 Cal Green Code)	Yes/No & Plan Reference
<b>PLANNING AND DESIGN</b>	<b>Plan sheet, Spec or Attach Reference</b>
<b>SITE DEVELOPMENT (CGS 4.106)</b>	
<b>Storm water pollution control.</b> A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3.	
<b>Grading and Paving.</b> Construction plans to indicate how site grading and drainage system will manage all water flows to keep water from entering buildings. Examples found at CGC 4.106.3. Alterations and additions are excluded.	
<b>Electric Vehicle Charging for New Construction.</b> For one- and two-family dwellings, install electric vehicle charging wiring and panels per the requirements found in CGC 4.106.4.	
<b>ENERGY EFFICIENCY</b>	
<b>ENERGY CODE</b>	
<b>Energy Efficiency.</b> Building meets or exceed the requirements of the California Building Energy Efficiency Standards.	
<b>WATER EFFICIENCY AND CONSERVATION</b>	
<b>INDOOR WATER USE (CGC 4.303)</b>	
<b>Water conserving plumbing fixtures.</b> Plumbing fixtures (water closets and urinals) shall comply with the following: 1. The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1). 2. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gal/flush. The effective flush volume for all other urinals shall not exceed 0.5 gal/flush (CGC 403.1.2).	
<b>Water conserving plumbing fittings.</b> Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4.	
<b>OUTDOOR WATER USE (CGC 4.304)</b>	
<b>Scope.</b> The provisions of Section 4.304 reference the mandatory Model Water Efficiency Landscape Ordinance (MWELo) contained within Chapter 2.7, Division 2, Title 23 per CGC 4.304.1.	
<b>Outdoor water use in landscape areas equal to or greater than 500 square feet.</b> For new residential developments with aggregate landscape area equal to or greater than 500 square feet, shall comply with local water efficient landscape ordinance or the current MWELo per CGC 4.304.1.	
<b>Outdoor water use in landscape areas of 2,500 square feet or less.</b> New residential development with aggregate landscape area of 2,500 square feet or less may conform to the prescriptive compliance measures contained in MWELo's Appendix D.	
<b>MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b>	
<b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)</b>	
<b>Rodent Proofing.</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar methods acceptable to the enforcing agency per CGC 4.406.1.	
<b>CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGC 4.408)</b>	
<b>Construction waste management.</b> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste per CGC 4.408.1	
<b>BUILDING MAINTENANCE AND OPERATION (CGC 4.410)</b>	
<b>Operation and maintenance manual.</b> An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1.	
<b>Recycling by occupants.</b> Where five (5) or more multifamily dwelling units are constructed on a single site, provide readily accessible collection areas that serve all buildings on the site for depositing, storage and collection of non-hazardous recyclables (including paper, corrugated cardboard, glass, plastics, organic waste, and metals) per CGC 4.410.2.	
<b>ENVIRONMENTAL QUALITY</b>	

<b>Fireplaces.</b> Any gas fireplaces shall be a direct-vent sealed-combustible type.	
<b>Woodstoves.</b> Any wood stove or pellet stove shall comply with US EPA New Source Performance Standards emission limits per CGC 4.503.1.	
<b>POLLUTANT CONTROL (CGC 4.504)</b>	
<b>Duct and mechanical systems protection.</b> At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	
<b>Finish material pollutant control.</b> Finish materials shall comply with Sections 4.504.2.1 through 4.504.5.1.	
<b>Adhesives, sealants and caulks.</b> Adhesives, sealants and caulks used on the project shall meet the requirements of the standards listed in CGC 4.504.2.1.	
<b>Paints and coatings.</b> Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	
<b>Aerosol paints and coatings.</b> Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	
<b>Verification.</b> Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	
<b>Carpet systems.</b> All carpet installed in the building interior shall meet the testing and product requirement per CGC 4.504.3. Carpet cushion and adhesive also must comply.	
<b>Resilient flooring systems.</b> Where resilient flooring is installed, at least 80% of flooring must comply with one of the following: the VOC-emission limits defined in the 2012 CHPS criteria and listed on its High Performance Products Database; products certified under UL Greenguard Gold program; certified under the Resilient Floor Covering Institute FloorScore program; or meet California Department of Public Health 2010 Specifications per CGC 4.504.4.	
<b>Composite wood products.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	
<b>Documentation.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency.	
<b>INTERIOR MOISTURE CONTROL (CGC 4.505)</b>	
<b>Concrete slab foundations.</b> A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	
<b>Moisture content of building materials.</b> Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	
<b>INDOOR AIR QUALITY AND EXHAUST (CGC 4.506)</b>	
<b>Bathroom exhaust fans.</b> ENERGY STAR compliant exhaust fans shall be provided in every bathroom per CGC 4.506.1. Fans shall be ducted to the outside and must be controlled by a humidity control, unless functioning as part of a whole house ventilation system.	
<b>ENVIRONMENTAL COMFORT (CGC 4.507)</b>	
<b>Heating and air conditioning.</b> Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent.	
<b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS</b>	
<b>HVAC INSTALLER QUALIFICATION (CGC 702)</b>	
<b>HVAC installer training.</b> HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program per CGC 702.1.	
<b>VERIFICATION (CGC 703)</b>	
<b>Compliance documentation.</b> Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	

Responsible Designer's Declaration Statement	Contractor's Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2019 California Green Building Standards Code.	I hereby certify, as the building or installer under permit listed herein, that this project will be constructed to meet the requirements of the 2019 California Green Building Standards Code.
<b>Name:</b>	<b>Name:</b>
<b>Signature:</b>	<b>Signature:</b>
<b>Date:</b>	<b>Date:</b>
<b>Company:</b>	<b>Company:</b>
<b>Address:</b>	<b>Address:</b>
<b>City/Su/Zip:</b>	<b>City/Su/Zip:</b>

City of San Leandro  
Community Development - Building Division  
835 East 14th Street  
Phone 510-577-3405 Fax 510-577-3418  
www.sanleandro.org



## City of San Leandro Construction & Demolition Waste Diversion Package

Building and Safety  
835 East 14th Street  
San Leandro, CA 94577

Building Permit applicants for the projects listed below are required to divert Construction and Demolition (C&D) waste and debris from landfill disposal in accordance with 2019 California Green Building Standards Code Section 4.408.1 and 5.408.1

### Building projects subject to Construction and Demolition (C&D) requirements include:

- Construction of any new building
- All non-residential tenant improvement projects
- All additions or alterations of residential buildings that increase the building's conditioned area, volume, or size
- All interior alterations for residential buildings

**Diversion requirements:** Subject building projects shall divert 100% of asphalt, concrete, excavated soil and land clearing debris and at least 65% of the remaining construction and demolition debris by recycling, reuse, compost, or other approved method.

### How to comply with C&D Requirements:

**Step 1** – Create a Waste Diversion Plan by using an approved online C&D resource tool or by completing the Waste Diversion Plan from the City of San Leandro's [C&D Waste Diversion Package](#)

**Step 2** – Fill in the [Waste Diversion Form](#) (page 2). Submit two copies of the Waste Diversion Form along with one copy of your Waste Diversion Plan, generated with a C&D resource tool or by using the Waste Diversion Plan, with your Building Permit Application.

**Step 3** - During construction/demolition divert debris as specified on the Waste Diversion Plan and collect required documentation. These includes weight tags, receipts, and invoices for services. Upload recycling and disposal receipts if using an online C&D resource tool.

**Step 4** - Before Final Inspection, complete the Waste Diversion Report using a C&D resource tool or the C&D Diversion Worksheet. Show the Waste Diversion Report (including receipts) to the Building Inspector at the final inspection to demonstrate diversion rate compliance.

**Assistance:** For assistance contact Building and Safety at 510-577-3420 or [MelanieBraun@sanleandro.org](mailto:MelanieBraun@sanleandro.org).

Updated 3/2017

Page 1 of 4

	<b>SAN LEANDRO CONSTRUCTION and DEMOLITION WASTE DIVERSION FORM</b>												
Building and Safety Department	Check all boxes that apply. If not using an online C&D resource tool, applicant must complete the C&D Diversion Form including the Waste Diversion Plan (WDP) and Waste Diversion Report (WDR). <b>Please submit two (2) copies of this Form with your Building Permit Application</b>												
<b>Check all that apply:</b>	<table><tr><td>Commercial</td><td>Residential</td><td>Demolition</td><td>Addition</td><td>Alteration/Repair</td><td>New Construction</td></tr><tr><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td></tr></table>	Commercial	Residential	Demolition	Addition	Alteration/Repair	New Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Commercial	Residential	Demolition	Addition	Alteration/Repair	New Construction								
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>								
<b>Permit #:</b>	<b>Project Address:</b>												
<b>Contact Address:</b>	<b>City:</b> <b>Zip:</b> <b>Phone:</b> <b>E-Mail:</b>												
<b>Describe Project:</b>													

### Please read and initial next to each of the following:

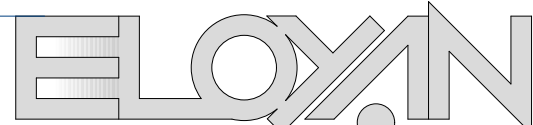
- \_\_\_\_\_ I agree to notify any and all persons involved in the project of the requirements of the Construction & Demolition Waste Management Plan.
- \_\_\_\_\_ I understand that I am responsible for obtaining copies of any and all weight tickets from all haulers and all facilities which receive debris from this project.
- \_\_\_\_\_ I understand that once the project is complete, the Final C & D Waste Diversion Report with weight tickets from receiving facilities must be shown to the Building Inspector at thr final inspection to demonstrate compliance.
- \_\_\_\_\_ I understand that it is my responsibility to inform the haulers of my recycling plan, and my chosen recycling facility.

I acknowledge that I understand the diversion requirements and submit this Waste Diversion Form and Plan in compliance with the code.	
<b>Signature:</b>	<b>Date:</b>
<b>Compliance Method: (Check one and provide required information)</b>	
<input type="checkbox"/> Specify online C&D resource tool _____ and enter Tracking Number: _____	
<input type="checkbox"/> Waste Diversion Worksheet attached (if not using online C&D resource tool)	
<b>Print Name:</b>	<b>Title:</b>

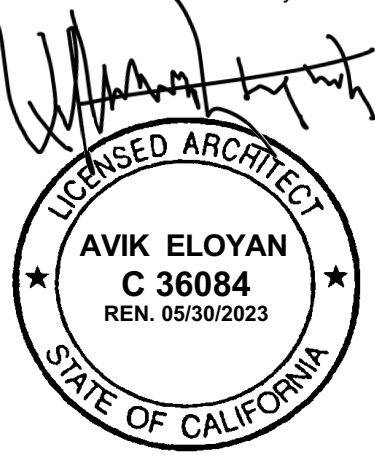
For assistance with this form contact Building and Safety at 510.577.3420 or [MelanieBraun@sanleandro.org](mailto:MelanieBraun@sanleandro.org)

Updated 3/2017

Page 2 of 4



ELOYAN ARCHITECTS INC  
1032 Second st. #7  
Lafayette, CA, 94549  
Ph. 415.966.1110.  
www.eloyn.com



Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and quantities shown on these drawings. Contractor must be notified immediately in writing of any discrepancies in dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

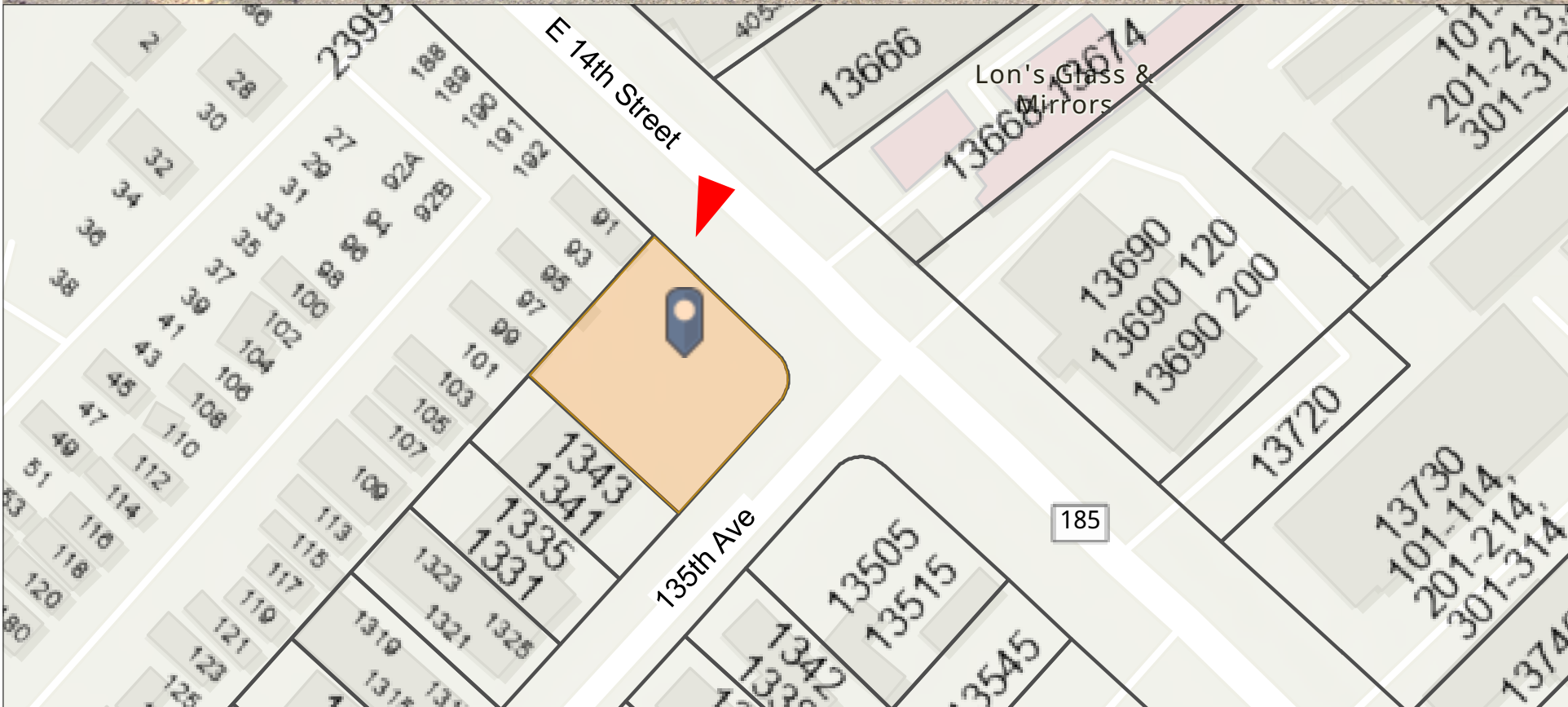
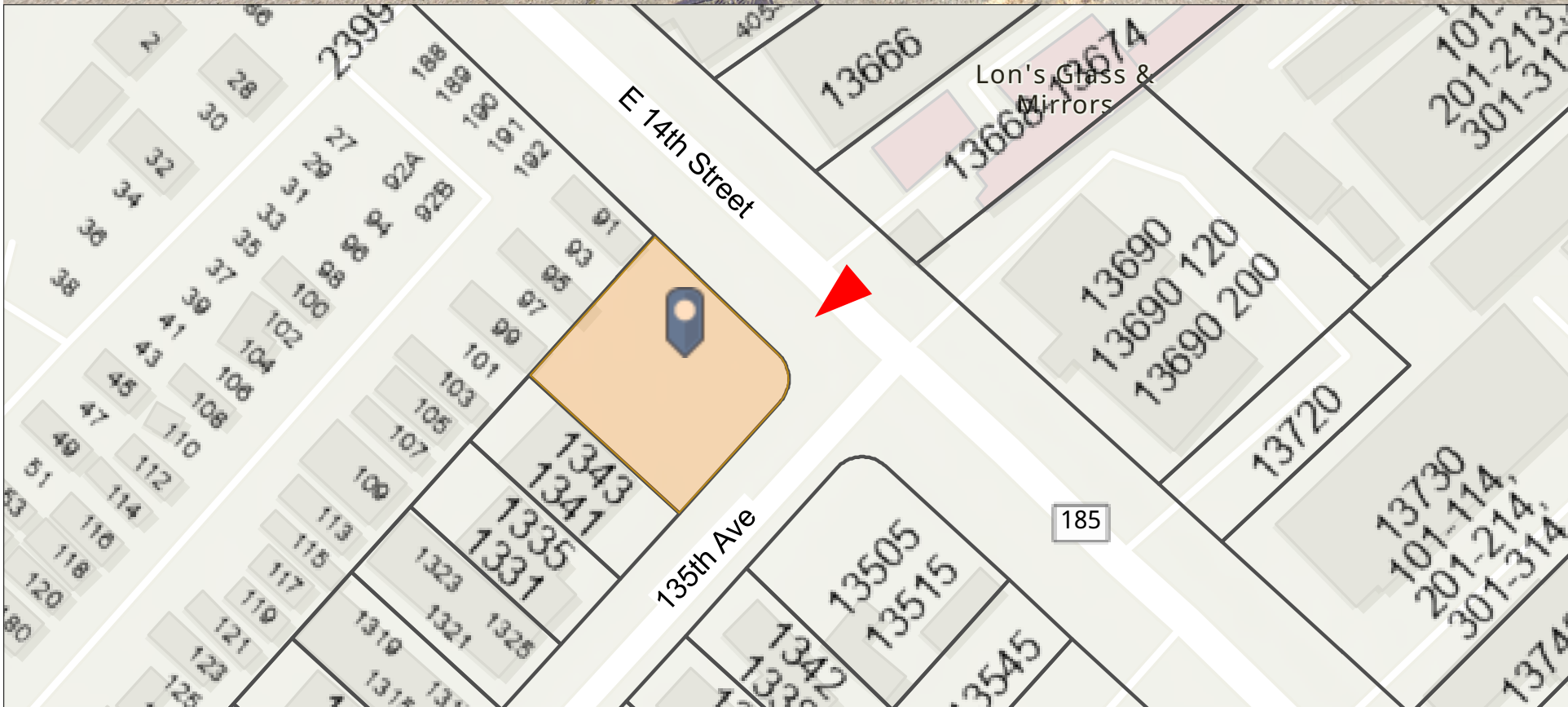
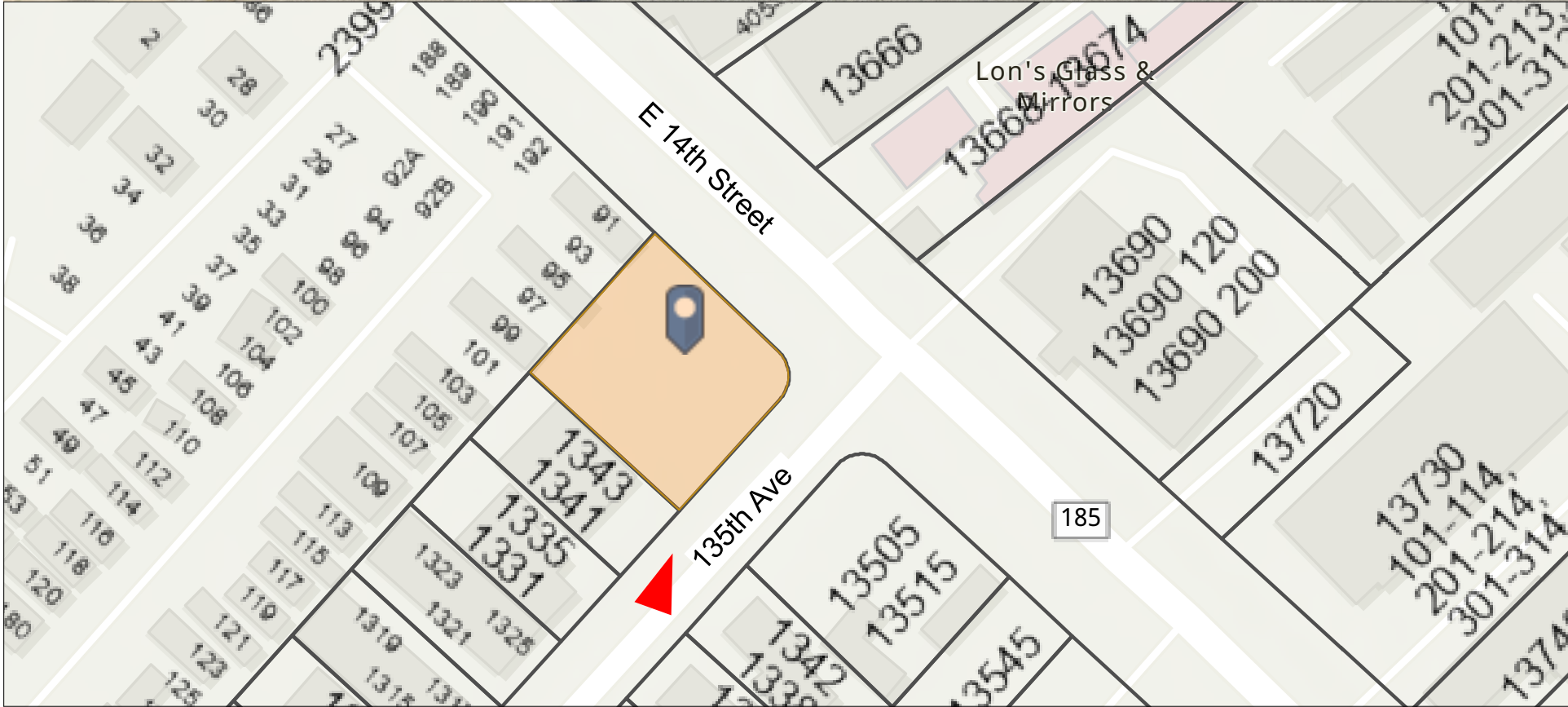
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

NO	REVISION	DATE
1		2022.06.15
2		2023.02.13

PRODUCTION DATE  
January 31, 2022

CAL GREEN  
CHECKLIST  
A0.3





Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

NO	REVISION	DATE
1		2022.06.15
2		2023.02.13

PRODUCTION DATE  
January 31, 2022

SITE PHOTOGRAPHS  
A0.4



E 14th STREET

NOTE:  
Emergency Lighting shall be provided with an average of 1-foot candle at the floor along the means of egress route to the public way.

NOTE:  
A Knox Box shall be provided for fire department access for any common areas for the buildings.

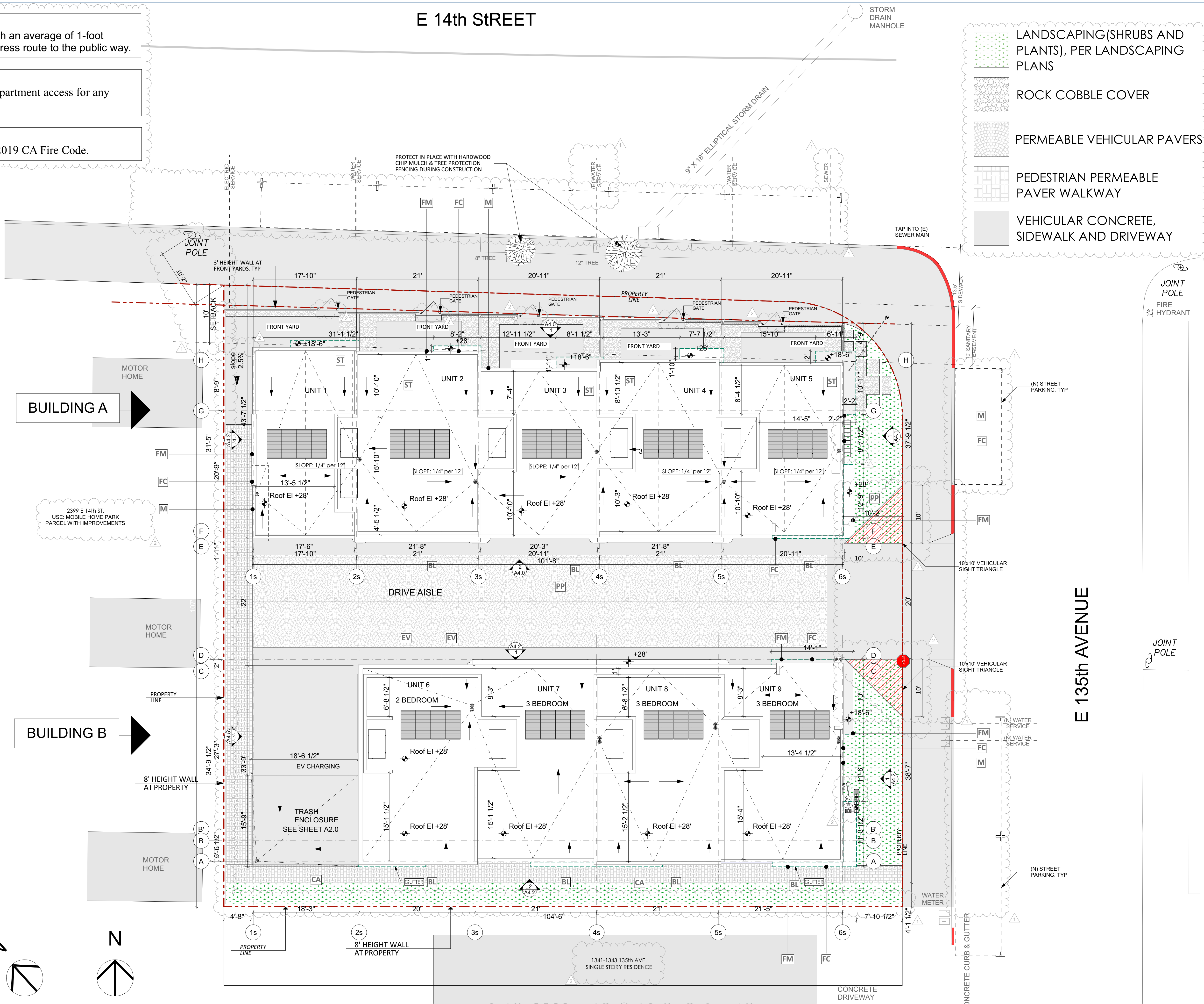
NOTE:  
Fire extinguishers shall be provided per 2019 CA Fire Code.

--- CANNOPY LINE  
--- BALCONY LINE

- LANDSCAPING(SHRUBS AND PLANTS), PER LANDSCAPING PLANS
- ROCK COBBLE COVER
- PERMEABLE VEHICULAR PAVERS
- PEDESTRIAN PERMEABLE PAVER WALKWAY
- VEHICULAR CONCRETE, SIDEWALK AND DRIVEWAY

ELOYAN ARCHITECTS INC  
1032 Second St. #7  
Lafayette, CA, 94549  
Ph. 415.966.1110  
www.eloyan.com

AVIK ELOYAN  
C 36084  
REN. 05/30/2023  
STATE OF CALIFORNIA



Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and shall be responsible for any discrepancies. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

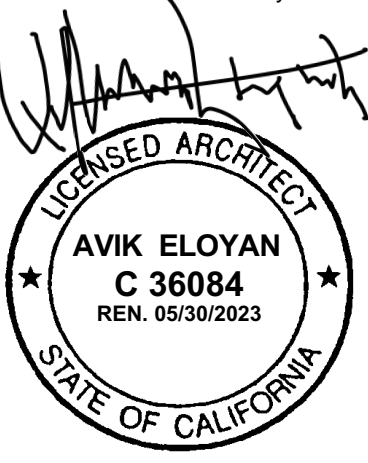
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

REVISION		DATE
NO	DATE	
1	2022.06.15	
2	2023.02.13	
PRODUCTION DATE		January 31, 2022
PROPOSED SITE PLAN		A1.0

Note: For public way emergency illumination see Sheet A1.2.

SITE PLAN  
SCALE: 1/8" = 1'-0"





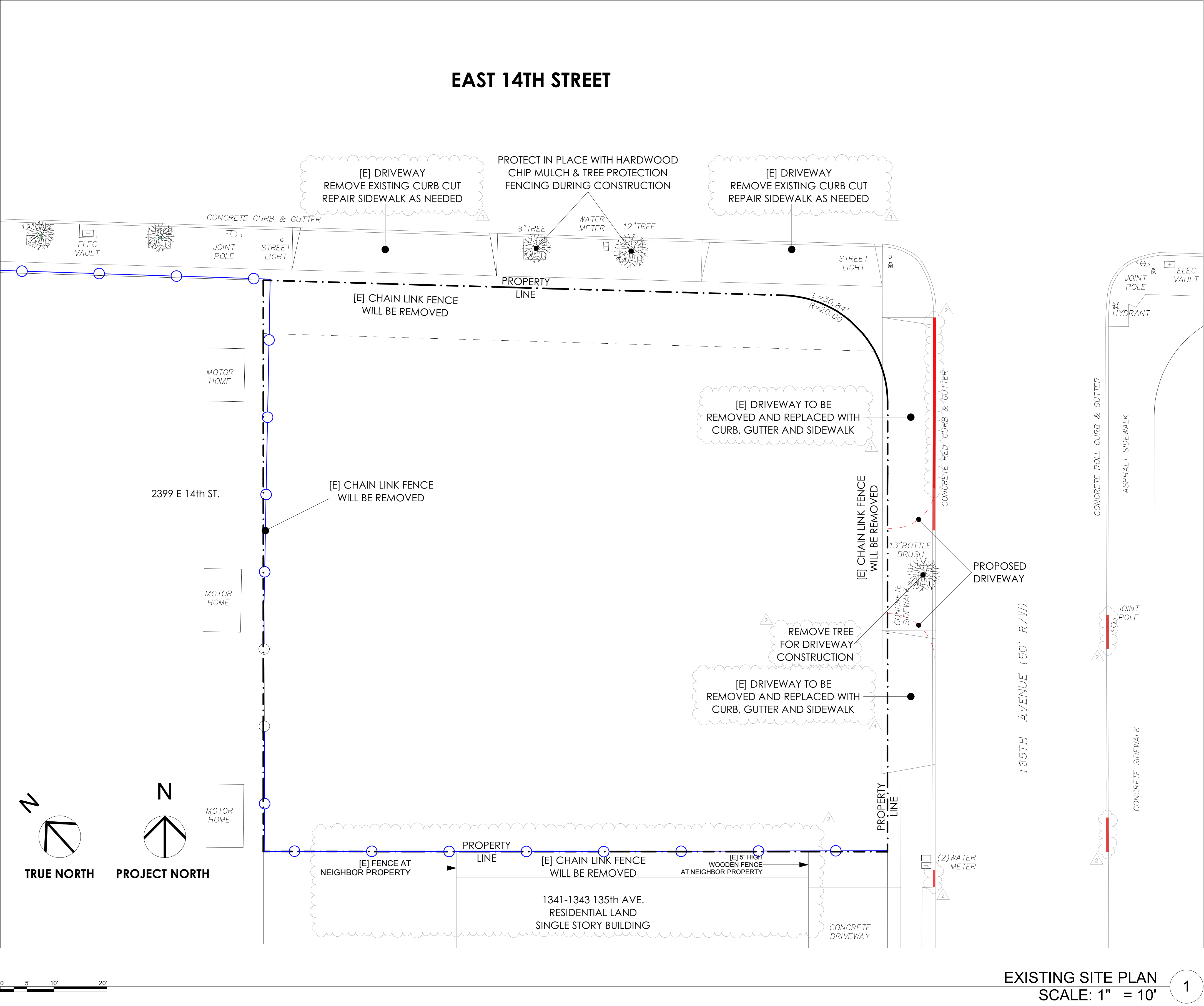
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and locations of existing and proposed features. Contractor must be notified immediately of any discrepancies from dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

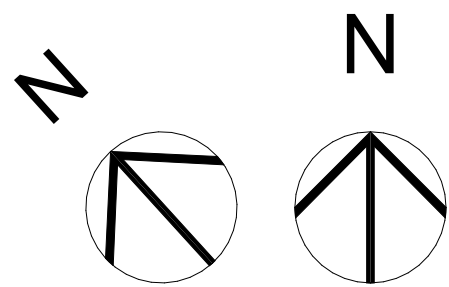
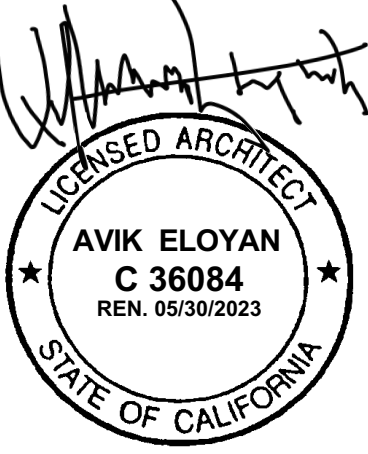
REVISION	
NO	DATE
1	2022.06.15
2	2023.02.13

PRODUCTION DATE  
January 31, 2022

EXISTING SITE PLAN  
A1.1



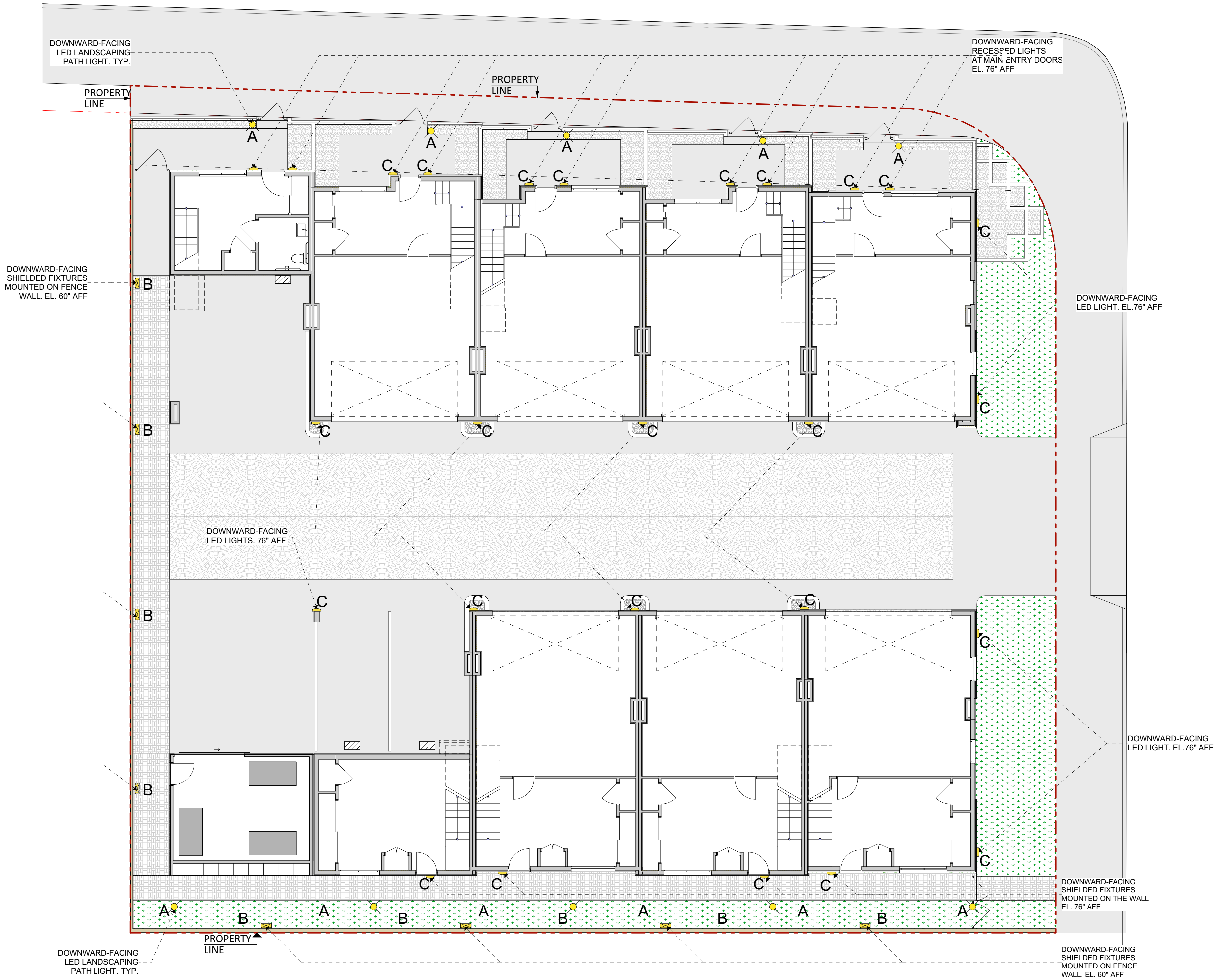




NOTE:  
THE PROPOSED LIGHTING WILL MATCH WITH THE LIGHTING  
LEVELS ALONG STREET FRONTAGE OF THIS PORTION OF 14th AVE

E 14th STREET

LIGHTING FIXTURE SCHEDULE			
SYMBOL	FIXTURE TYPE	COUNT	
A	BOX SINGLE LIGHT LED LANDSCAPE PATH LIGHT BY SONNEMAN MODEL#: 7341.72-WL	10	
B	KRYSEN LED OUTDOOR WALL SCONCE BY TECH LIGHTING ITEM#: TEC2017696	8	
C	RAINE 16" TALL LED OUTDOOR WALL SCONCE BY ELEGANT LIGHTING MODEL: LDOD4001BK	26	



NOTE:  
LIGHTING ALONG THE SOUTH PROPERTY LINE SHOULD NOT BE DISRUPTIVE  
TO RESIDENTS IN THE R DISTRICT AND NEIGHBORING 1341-1343 135th AVE.

0 4' 8' 16'

SITE LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

1

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HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

REVISION	
NO	DATE
1	2022.06.15
2	2023.02.13

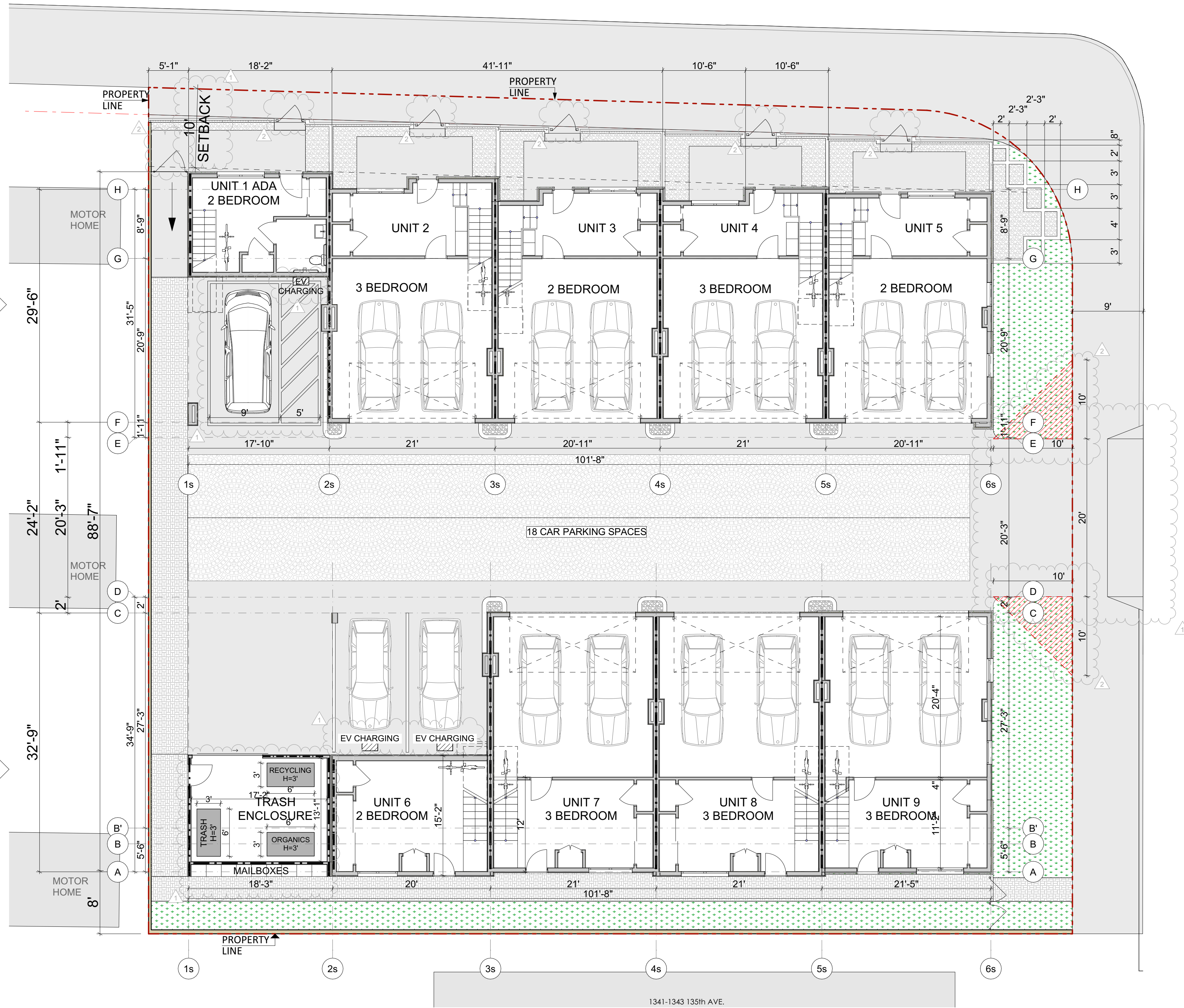
PRODUCTION DATE  
January 31, 2022

SITE LIGHTING PLAN  
A1.2



BUILDING A

BUILDING B



GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

1

REFUSE STORAGE AND MANAGEMENT NOTE:

FOR THE TRASH WEEKLY COLLECTION THE TRUCKS WILL DRIVE ONTO THE PROPERTY. EACH WASTE TYPE IS COLLECTED IN A DEDICATED 2 CUBIC YARD BIN (6'x3'x3') ONCE A WEEK. SEE WASTE CALCULATION TABLE BELOW

TRASH & RECYCLING CALCULATIONS FOR 9 UNITS

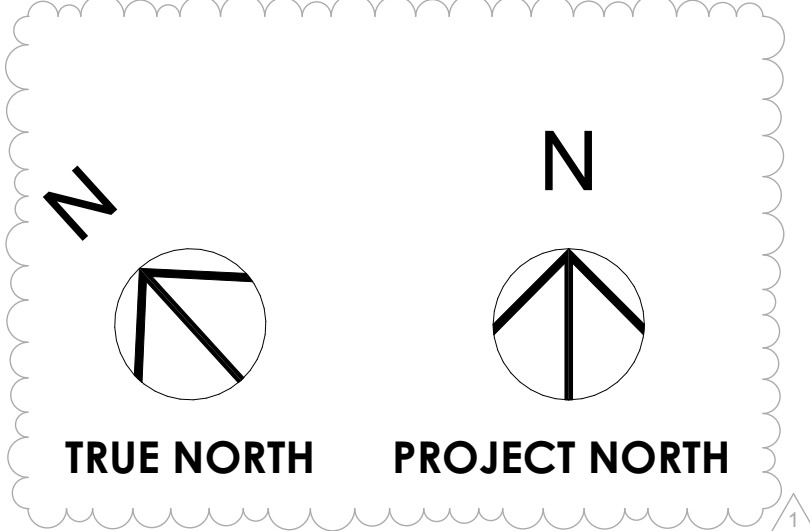
TRASH 9 units x 1.1 x 32 x 1/200 = 1.584 (cubic yards)  
RECYCLING 9 units x 1.1 x 32 x 1/200 = 1.584 (cubic yards)  
ORGANICS 1.584 (cubic yards)

Note: The entry areas from the garages to each unit, shall not be used as bedrooms.

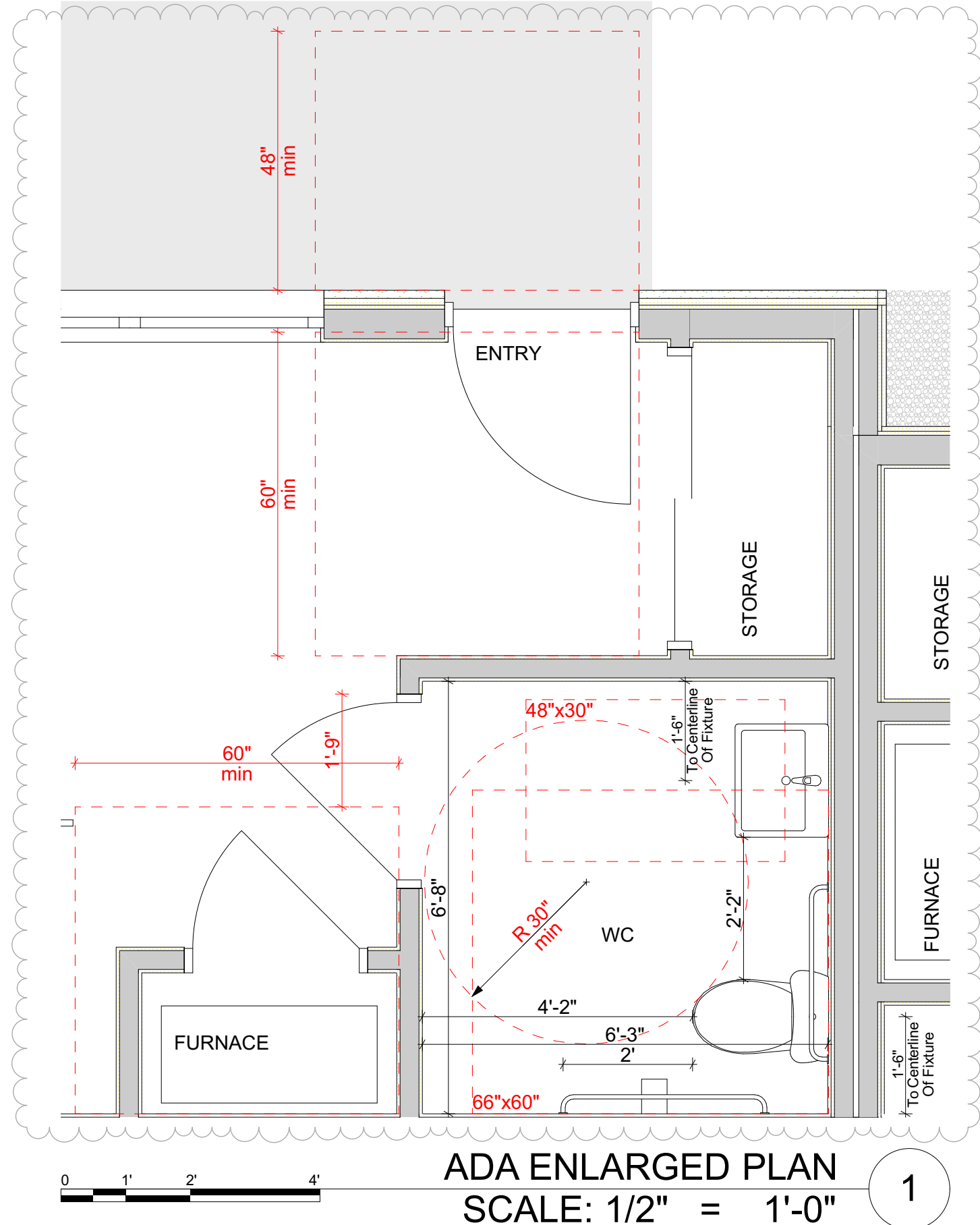
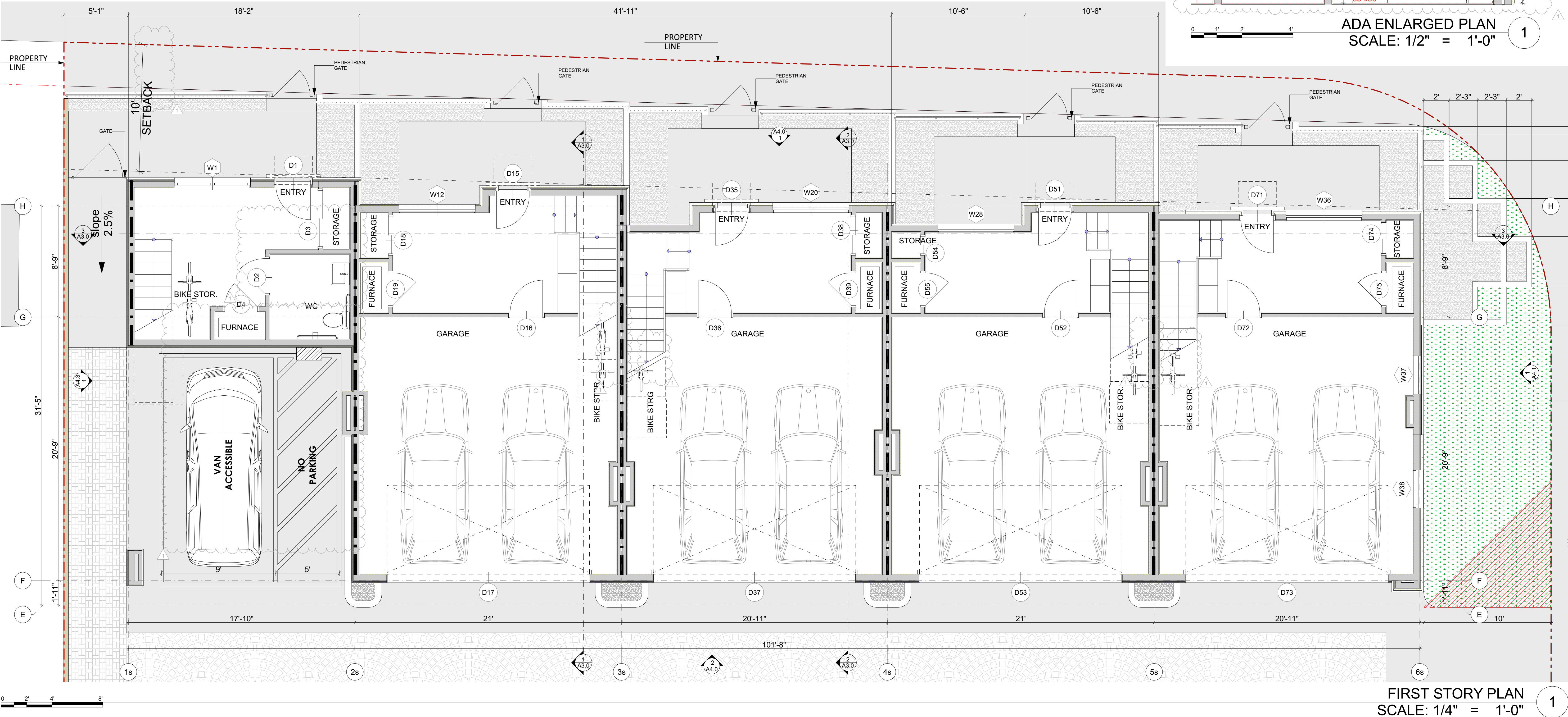
Unit	Required Resident Parking	Required Guest Parking	Proposed Resident Parking	Proposed Guest Parking	Proposed parking configuration
Unit 1 - 2 bed	1	0.75	1	1	resident parking & guest parking in carport
Unit 2 - 3 bed	1	1	1	1	resident parking & guest parking in garage
Unit 3 - 2 bed	1	0.75	1	1	resident parking & guest parking in garage
Unit 4 - 3 bed	1	1	1	1	resident parking & guest parking in garage
Unit 5 - 2 bed	1	0.75	1	1	resident parking & guest parking in garage
Unit 6 - 2 bed	1	0.75	1	1	resident parking & guest parking in carport
Unit 7 - 3 bed	1	1	1	1	resident parking & guest parking in garage
Unit 8 - 3 bed	1	1	1	1	resident parking & guest parking in garage
Unit 9 - 3 bed	1	1	1	1	resident parking & guest parking in garage
	9	8	9	8	



BUILDING A



Note: The entry areas from the garages to each unit, shall not be used as bedrooms.



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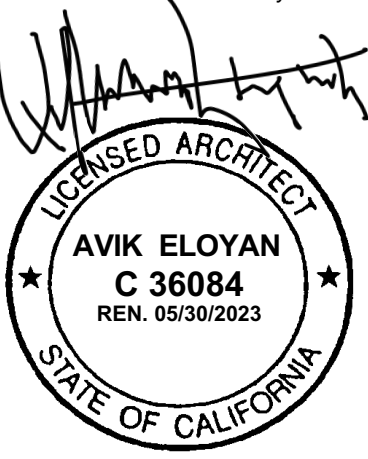
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

NO	REVISION	DATE
1		2022.06.15
2		2023.02.13

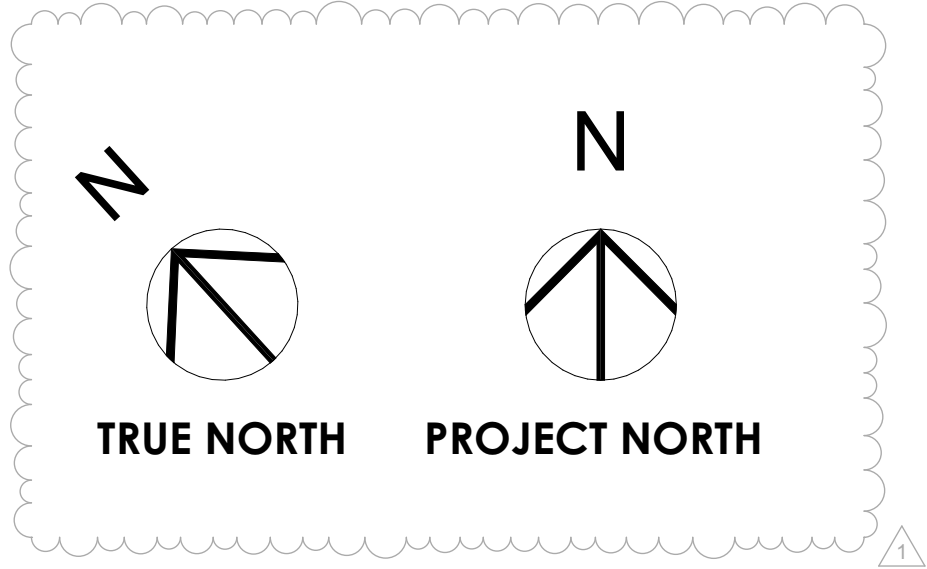
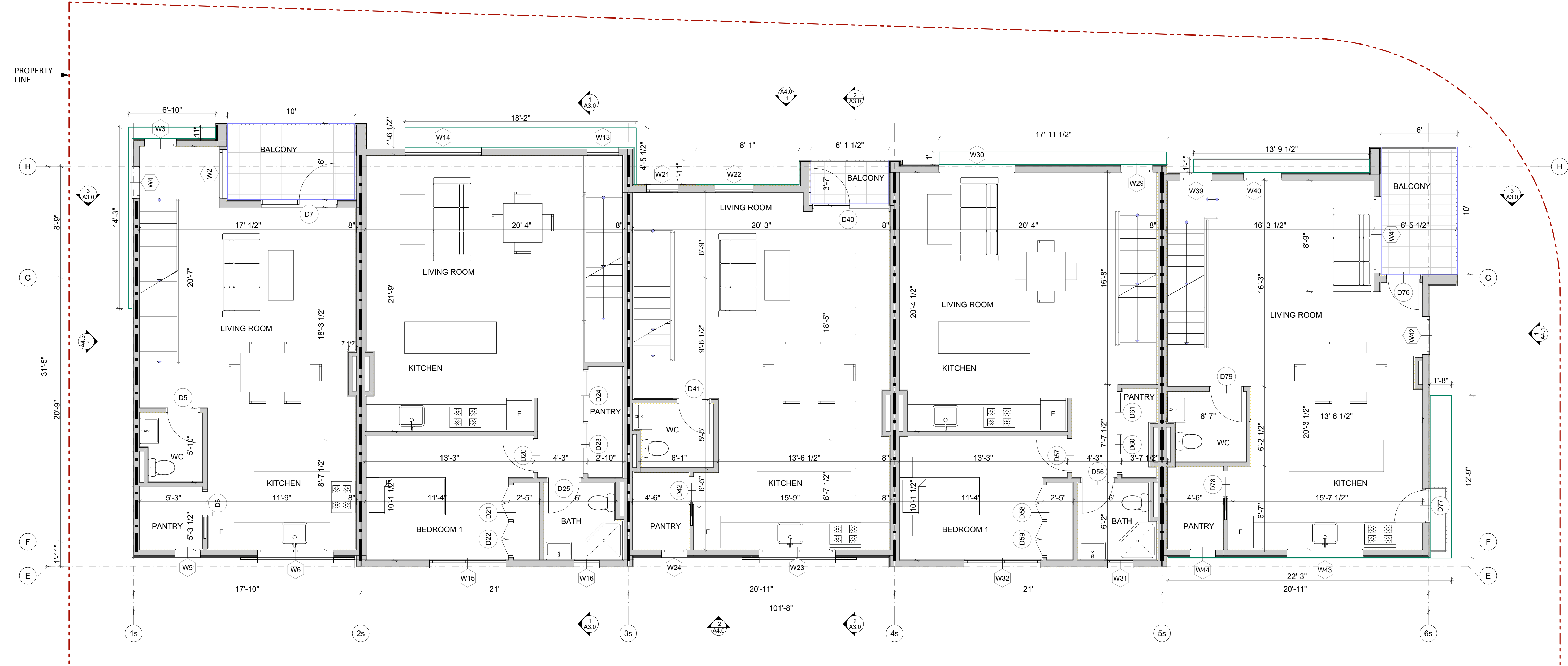
PRODUCTION DATE  
January 31, 2022

BUILDING A FIRST  
STORY PLANS  
A2.1





BUILDING A



SECOND STORY PLAN  
SCALE: 1/4" = 1'-0"

- FIRE RATING WALL
- BALCONY OUTLINE
- CANOPY OUTLINE

HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

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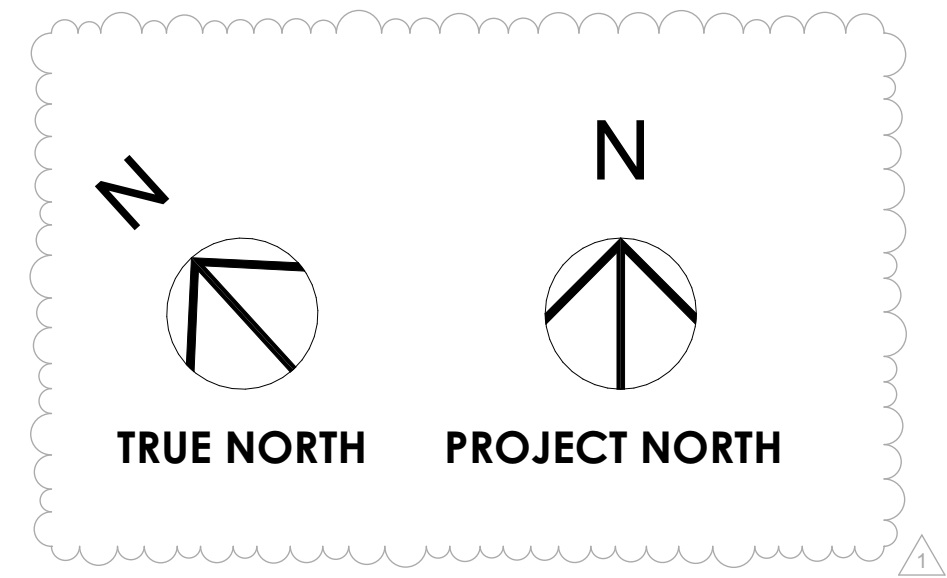
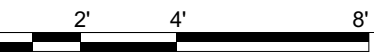
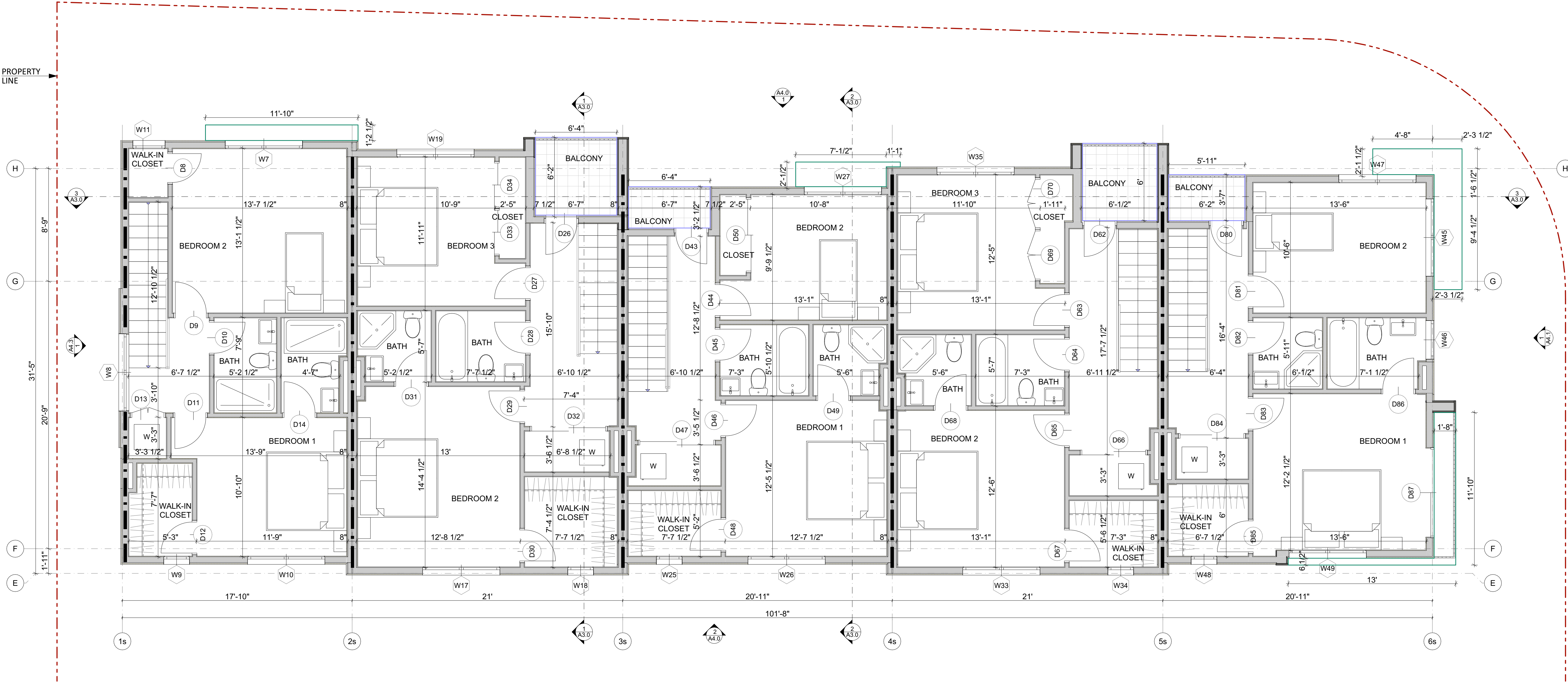
PRODUCTION DATE  
January 31, 2022

BUILDING A  
SECOND STORY  
PLANS

A2.2



BUILDING A



THIRD STORY PLAN  
SCALE: 1/4" = 1'-0"

- FIRE RATING WALL
- BALCONY OUTLINE
- CANOPY OUTLINE

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13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

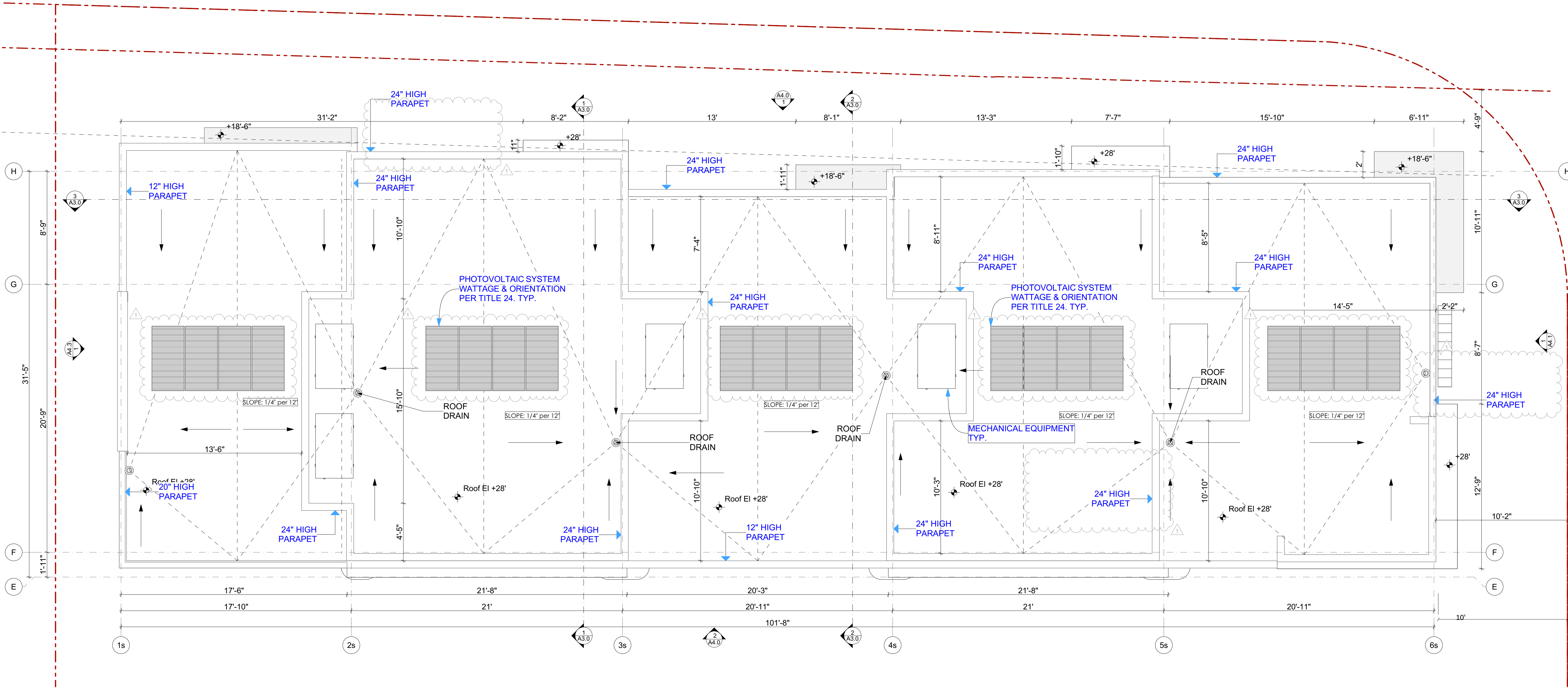
REVISION	
NO	DATE
1	2022.06.15
2	2023.02.13

PRODUCTION DATE  
January 31, 2022

BUILDING A THIRD  
STORY PLAN  
A2.3



# BUILDING A



ROOF PLAN  
SCALE: 1/4" = 1'-0"

1

REVISION	
NO	DATE
1	2022.06.15
2	2023.02.13

PRODUCTION DATE  
January 31, 2022

BUILDING A ROOF  
PLAN

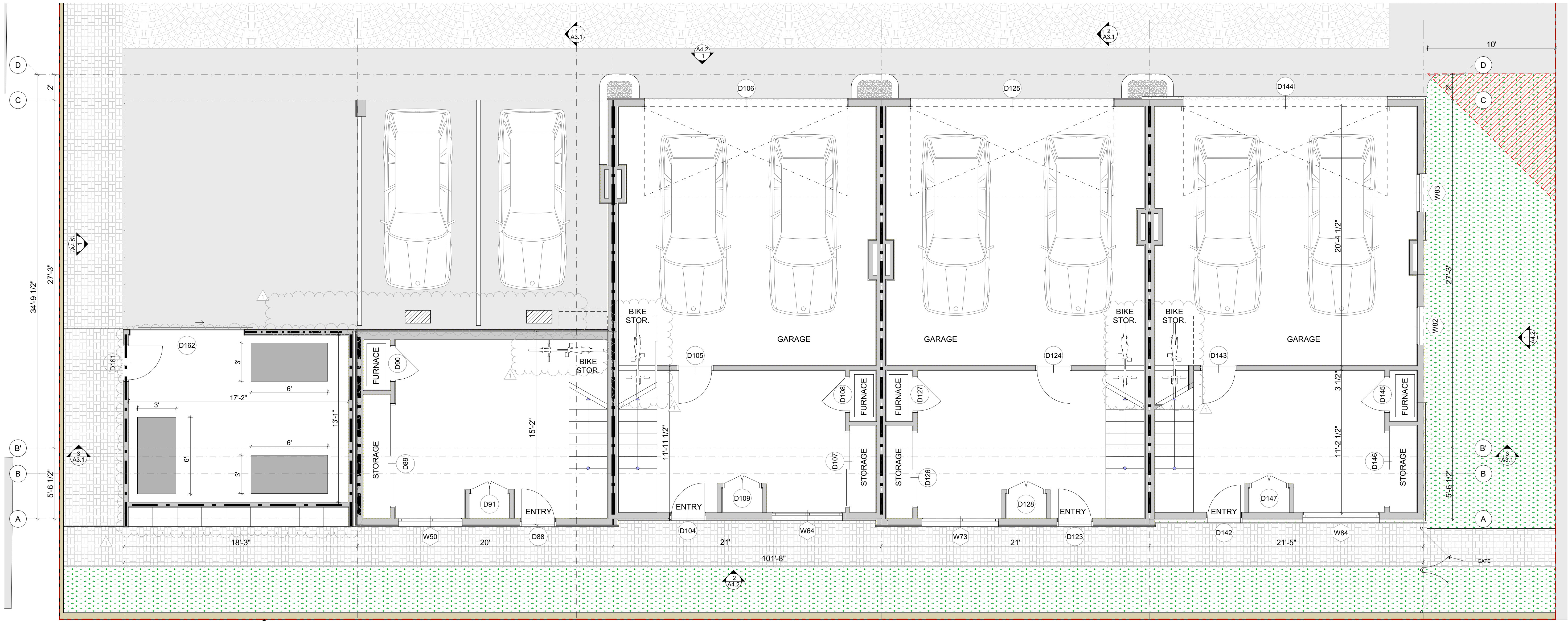
A2.4

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HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

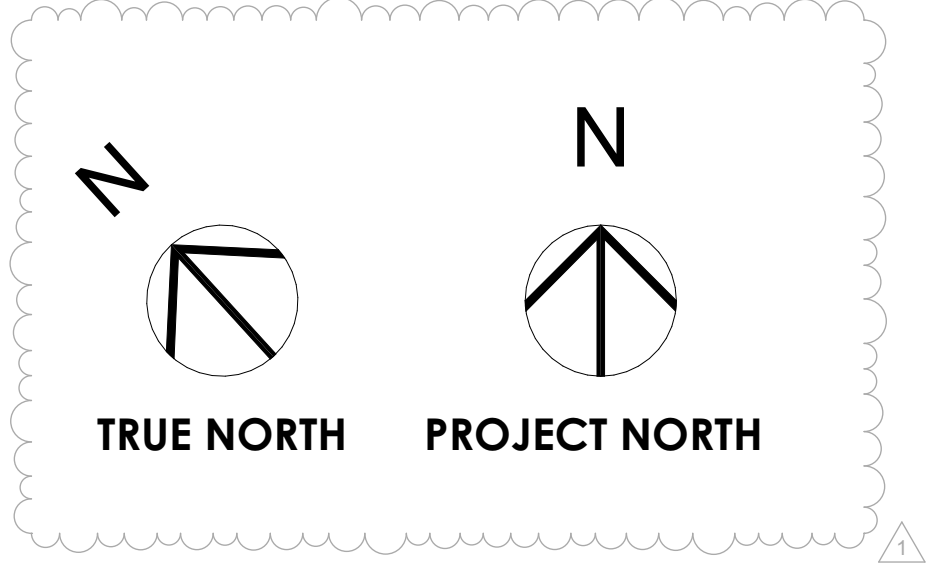


BUILDING B



FIRST STORY PLAN  
SCALE: 1/4" = 1'-0"

1



Note: The entry areas from the garages to each unit, shall not be used as bedrooms.

--- FIRE RATING WALL

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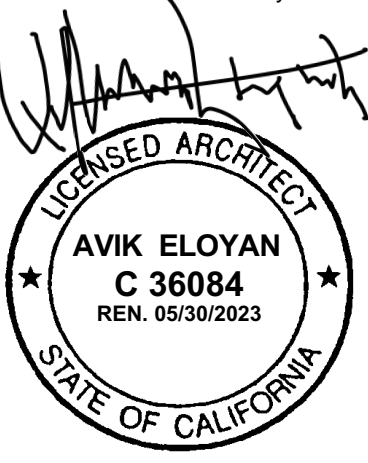
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

REVISION	
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2	2023.02.13

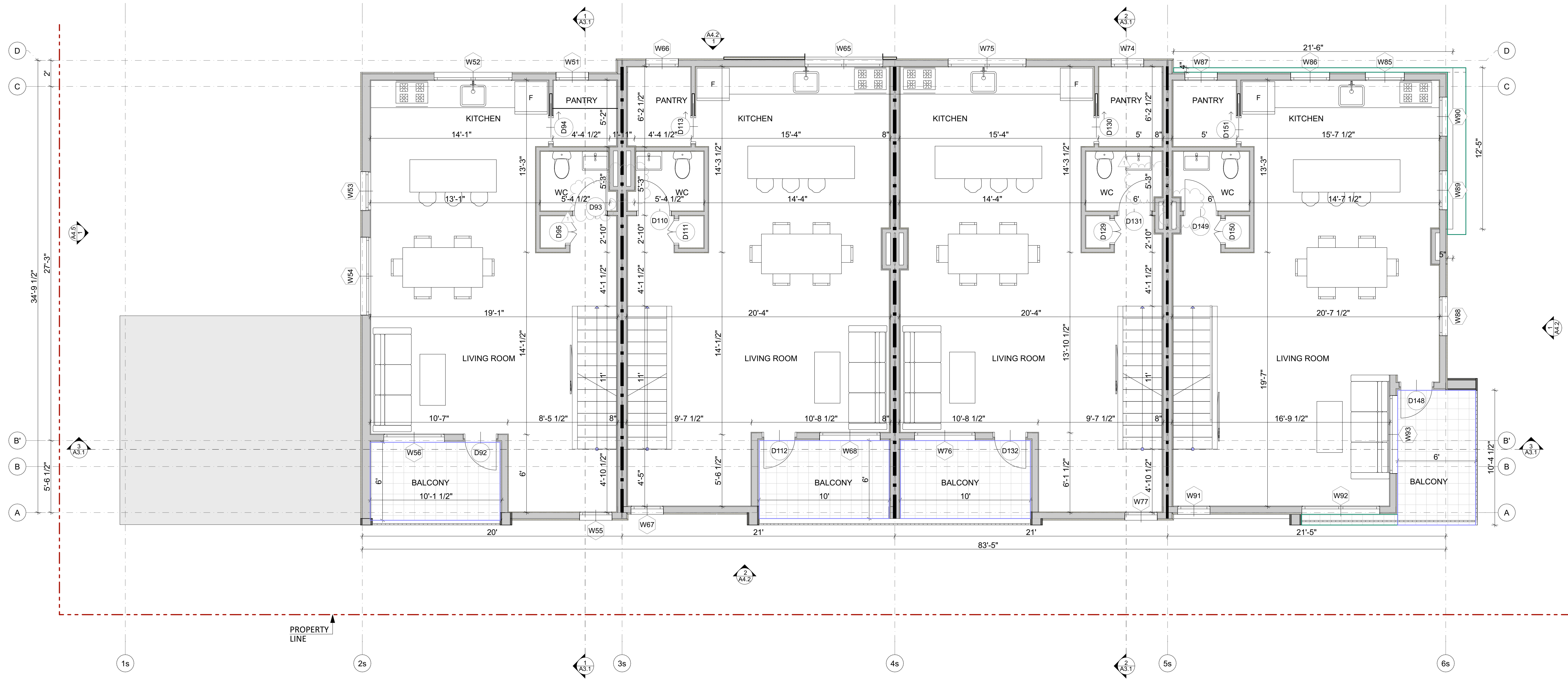
PRODUCTION DATE  
January 31, 2022

BUILDING B FIRST  
STORY PLAN  
A2.5





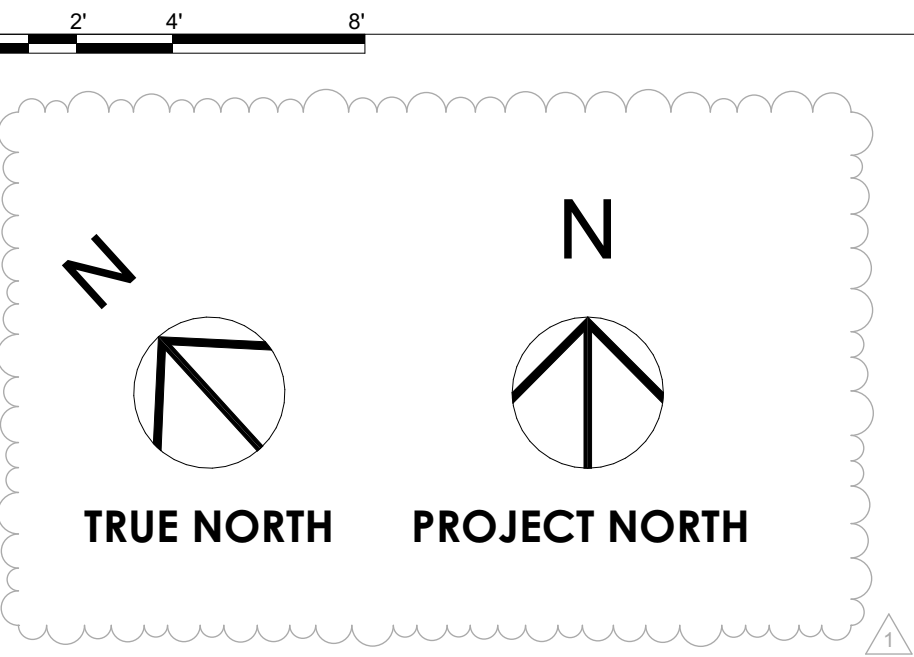
# BUILDING B



SECOND STORY PLAN  
SCALE: 1/4" = 1'-0"

1

- FIRE RATING WALL
- BALCONY OUTLINE
- CANOPY OUTLINE



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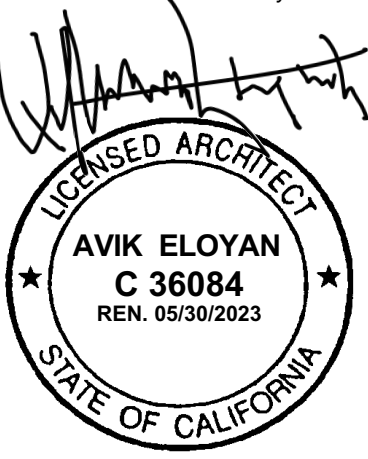
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
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A.P.N.: 77D-1405-1-1

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2	2023.02.13

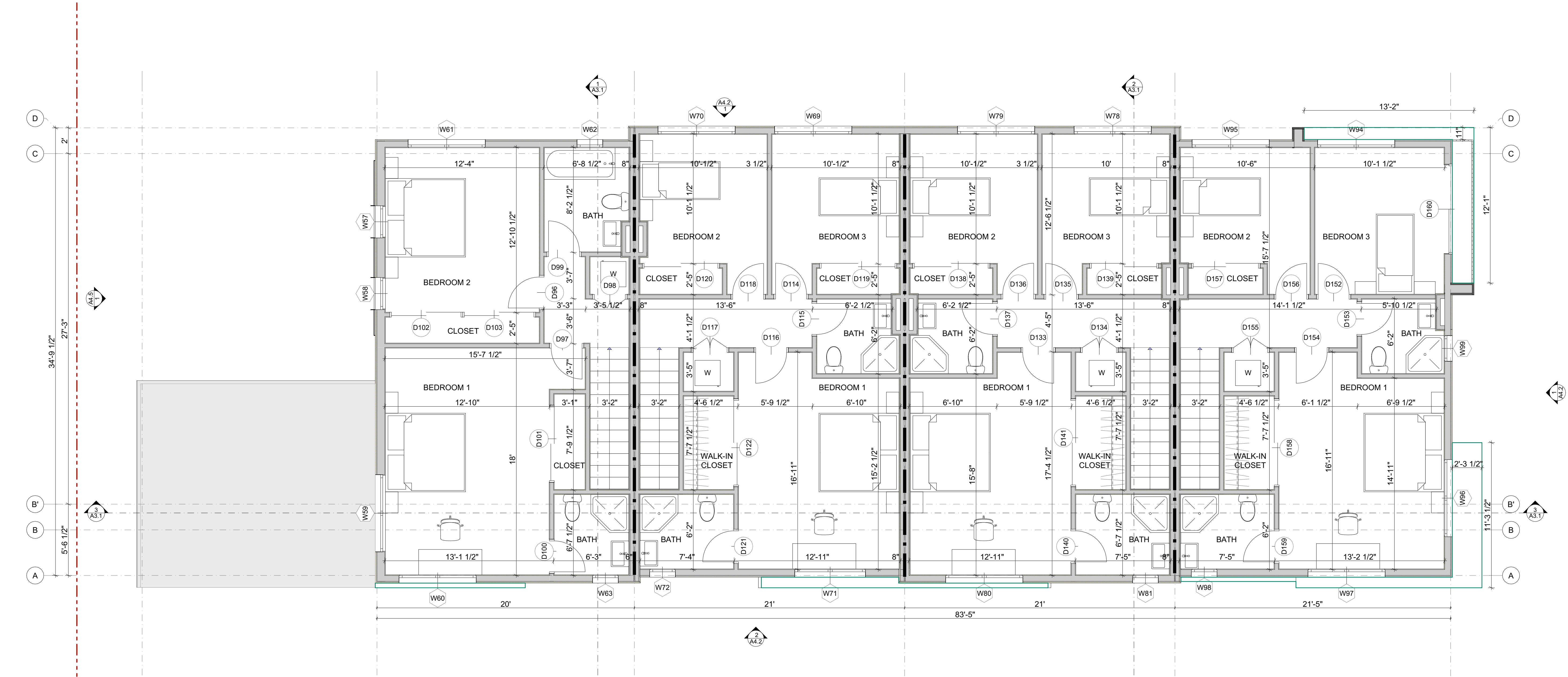
PRODUCTION DATE  
January 31, 2022

BUILDING B SECOND STORY PLAN  
A2.6



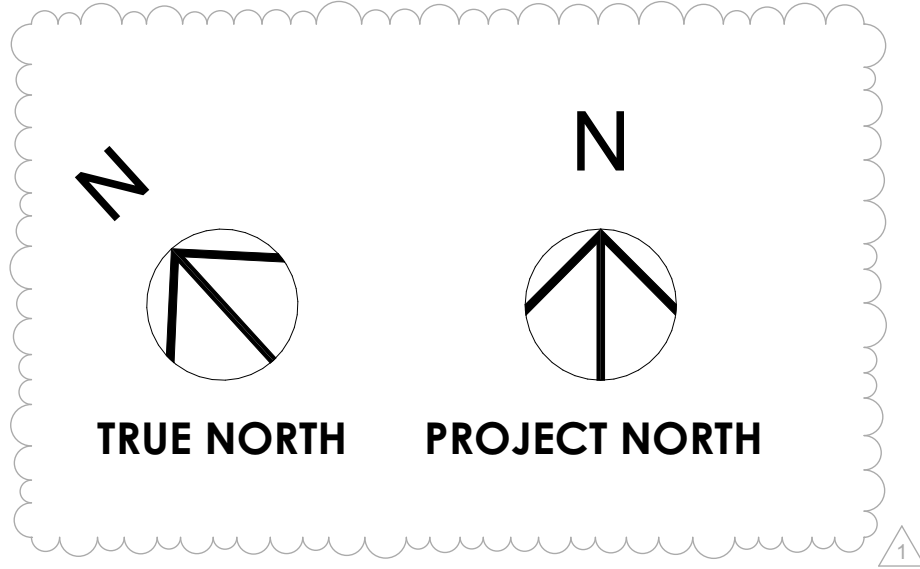


BUILDING B



THIRD STORY PLAN  
SCALE: 1/4" = 1'-0"

1



- FIRE RATING WALL
- BALCONY OUTLINE
- CANOPY OUTLINE

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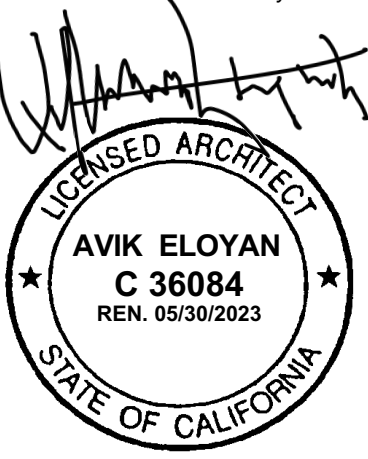
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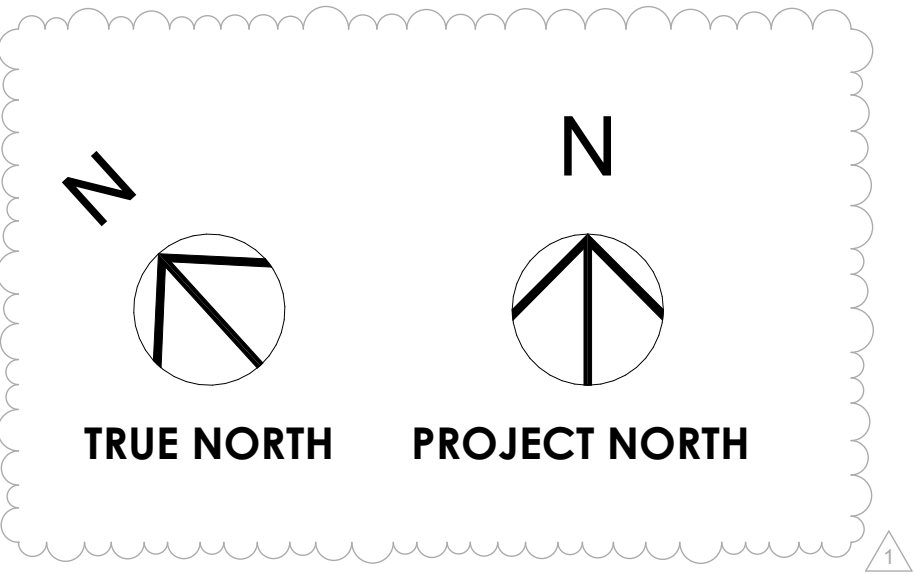
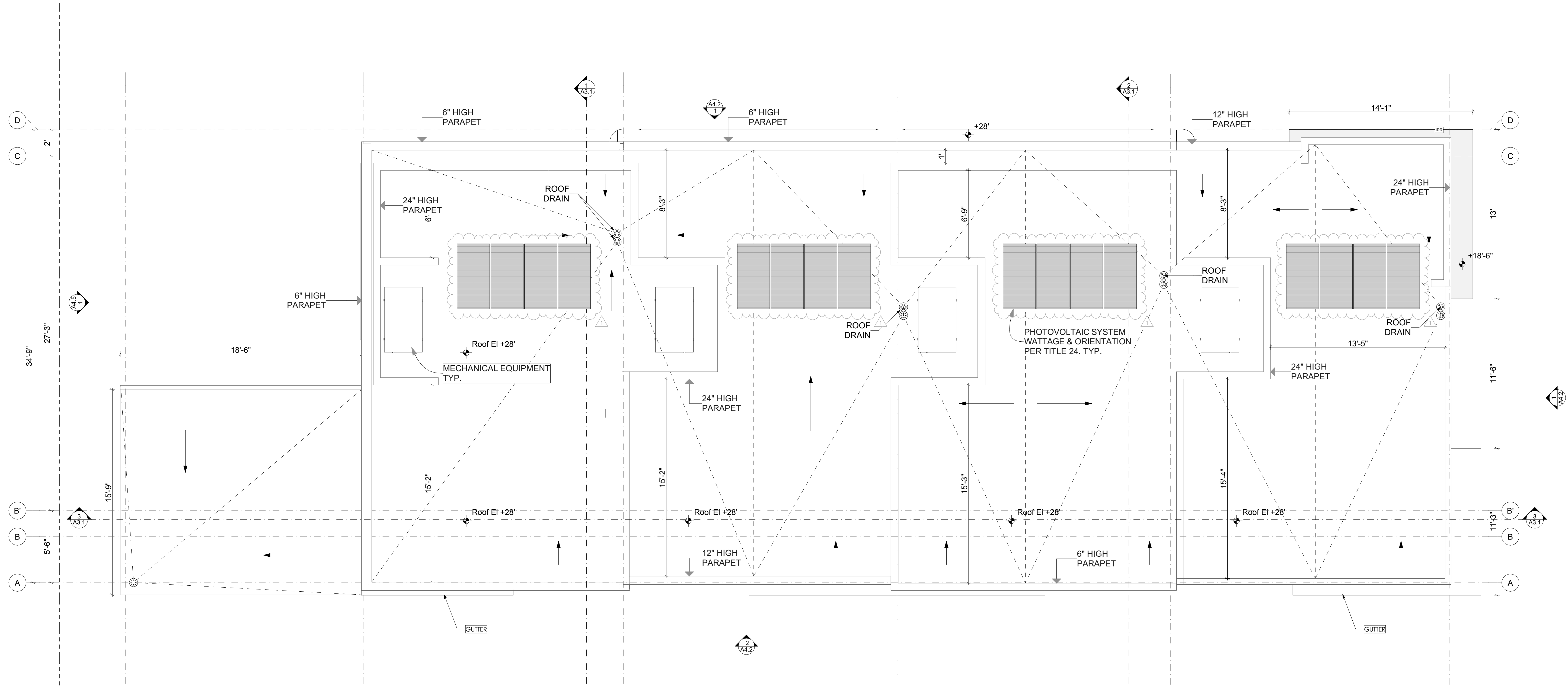
PRODUCTION DATE  
January 31, 2022

BUILDING B THIRD  
STORY PLAN  
A2.7





BUILDING B



Note: The roof covering complies with a minimum Class C rating.

ROOF PLAN  
SCALE: 1/4" = 1'-0"

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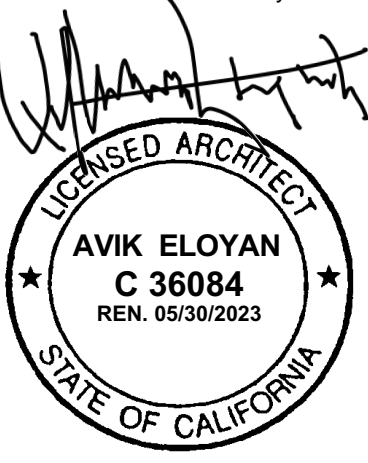
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
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A.P.N.: 77D-1405-1-1

REVISION	
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PRODUCTION DATE  
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BUILDING B ROOF PLAN  
A2.8





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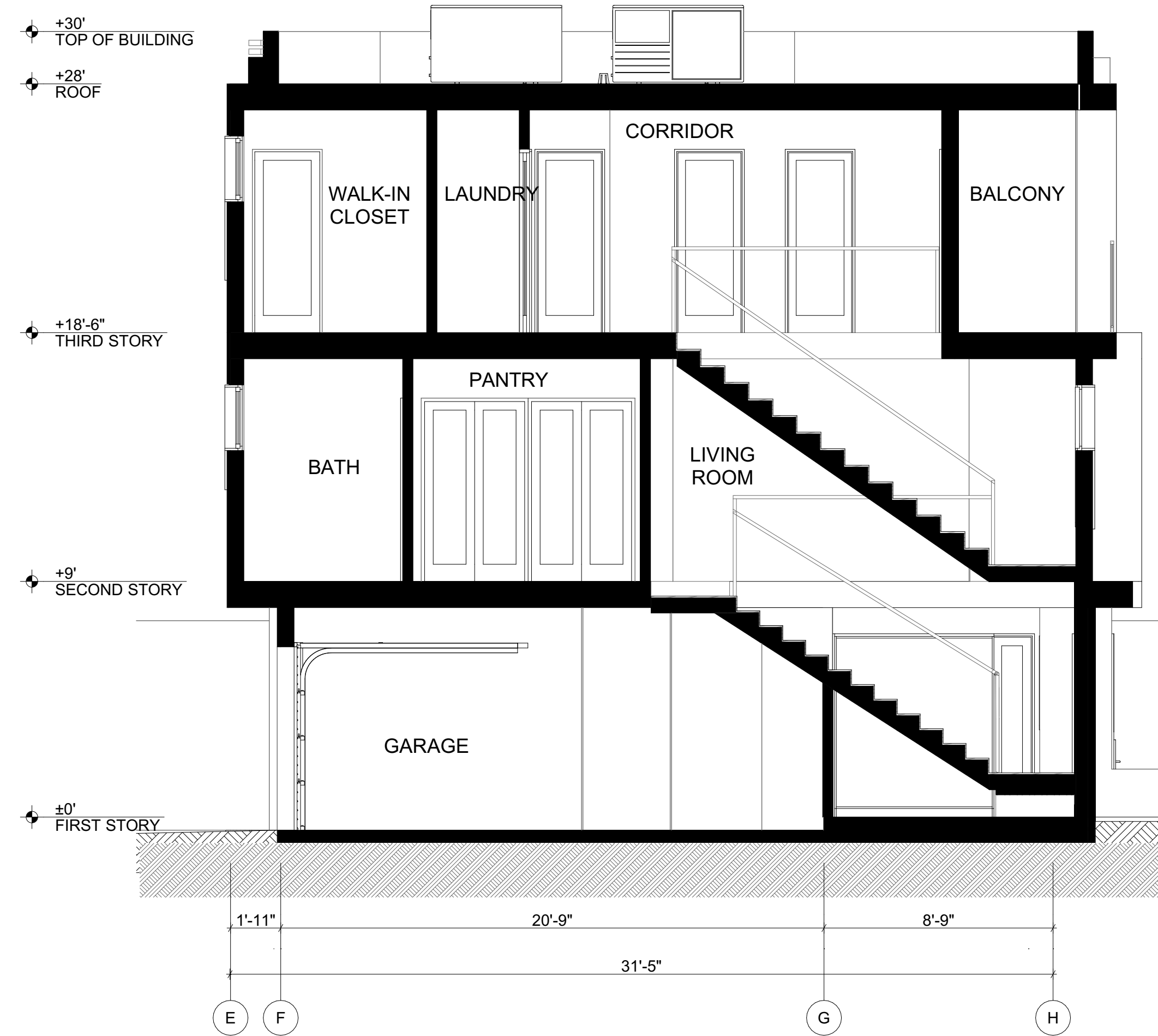
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

REVISION		DATE
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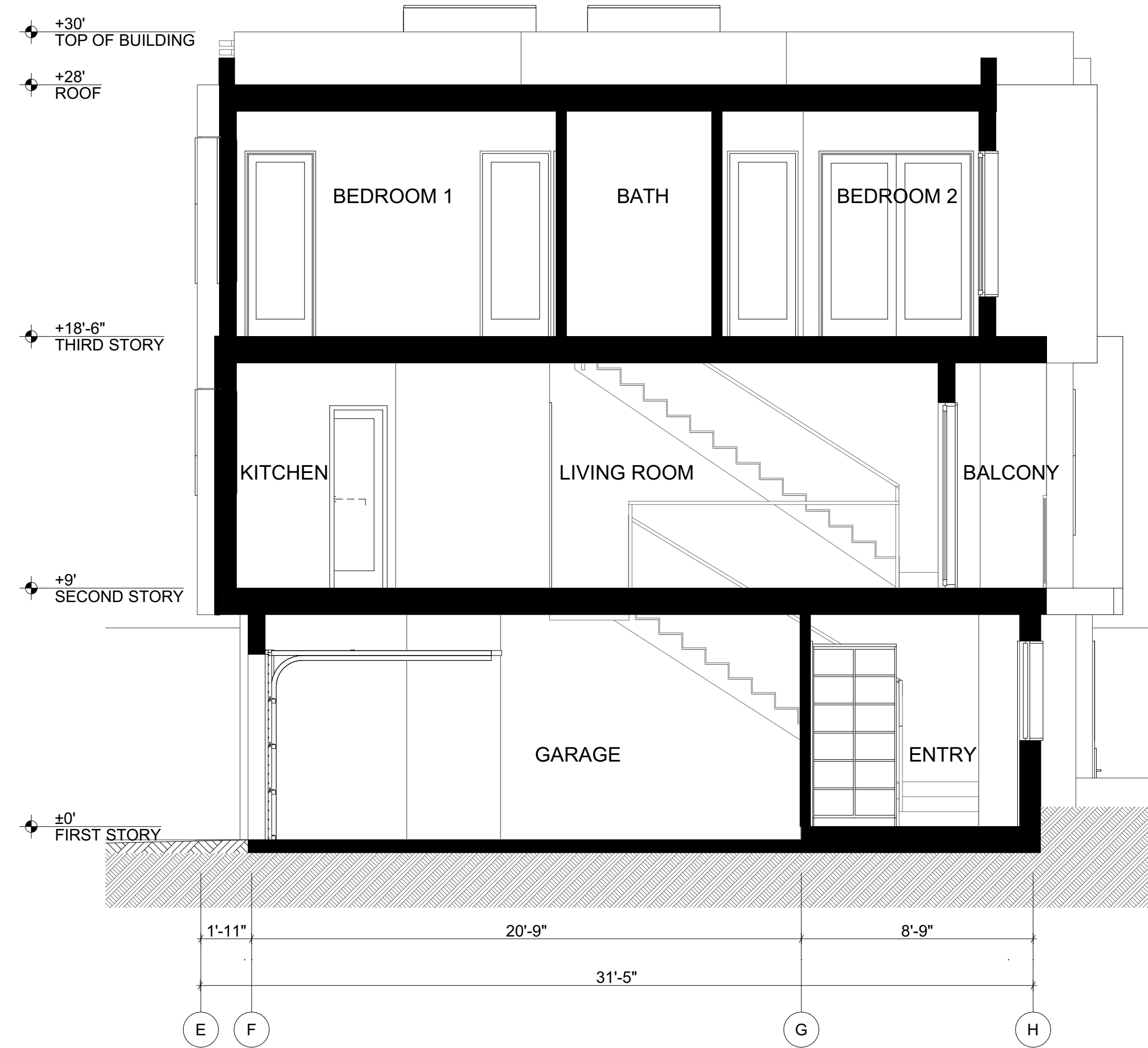
PRODUCTION DATE  
January 31, 2022

BUILDING A SECTIONS  
A3.0

# BUILDING A



BUILDING A CROSS SECTION THROUGH STAIRS  
SCALE: 1/4" = 1'-0" 1

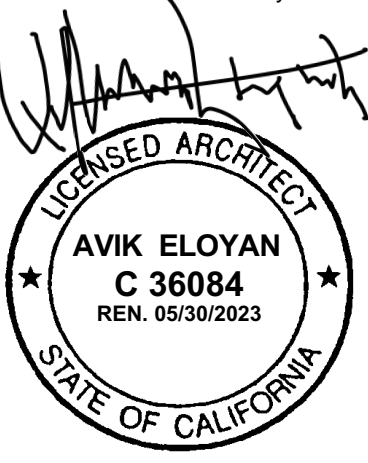


BUILDING A CROSS SECTION  
SCALE: 1/4" = 1'-0" 2



BUILDING A LONGITUDINAL SECTION THROUGH STAIRS  
SCALE: 1/4" = 1'-0" 3





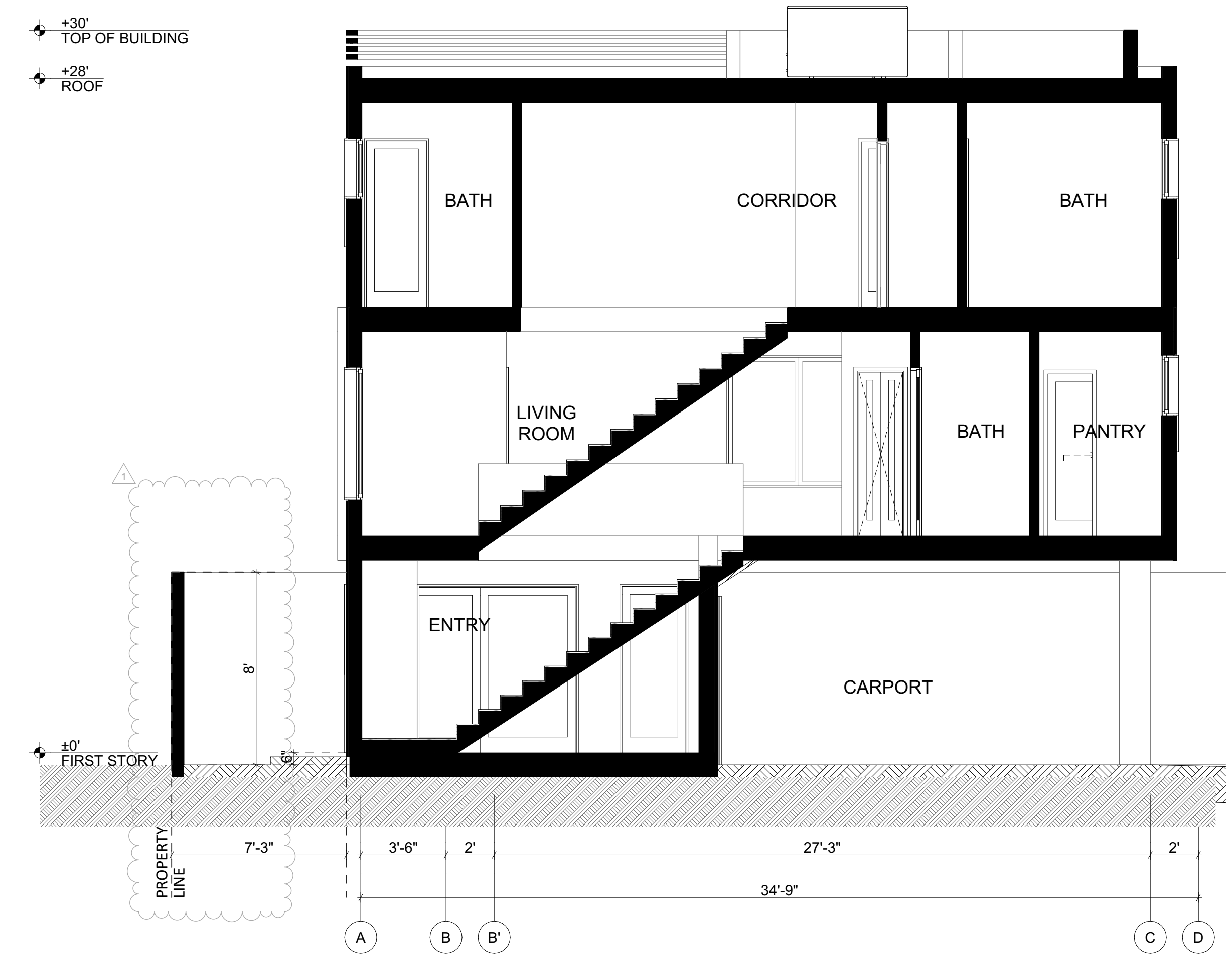
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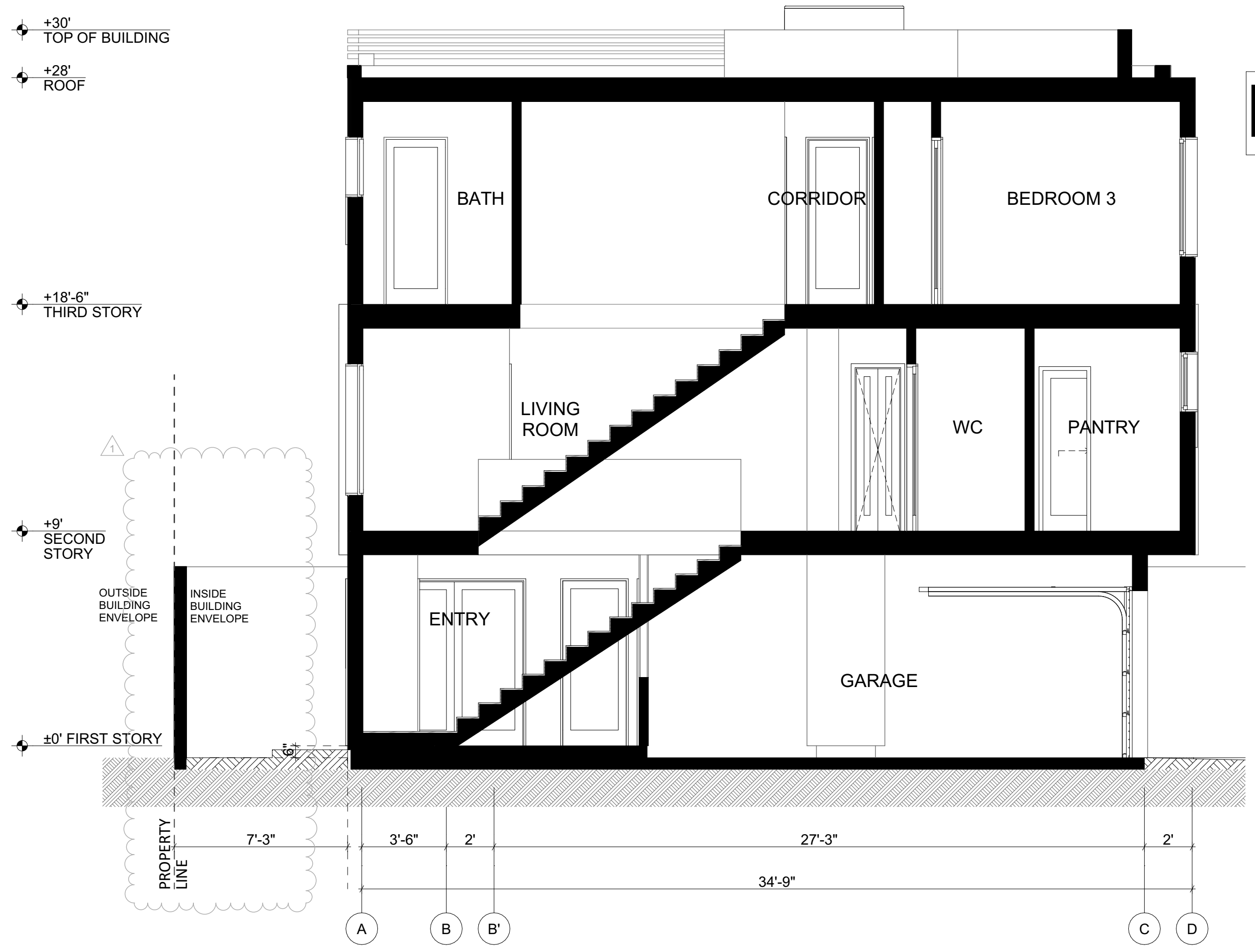
PRODUCTION DATE  
January 31, 2022

BUILDING B SECTIONS  
A3.1



BUILDING B CROSS SECTION THROUGH STAIRS  
SCALE: 1/4" = 1'-0"

1



BUILDING B CROSS SECTION  
SCALE: 1/4" = 1'-0"

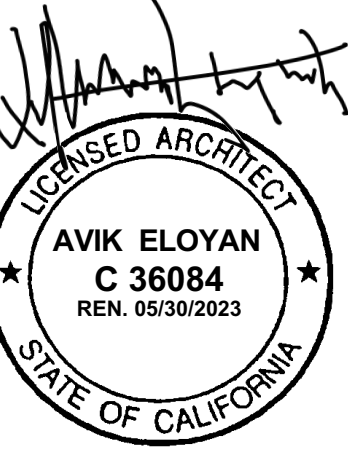
2



BUILDING B LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"

3





MATERIAL KEY

- 1 ADDRESS, HOUSE, UNIT NUMBERS AND LETTERING
- 2 DARK GREY TRIM
- 3 STONE VENEER
- 4 METAL RAILING
- 5 MARVIN, SIGNATURE MODERN COLLECTION, GRAPHITE BLACK 9011, GUNMETAL FINISH
- 6 STUCCO, CAPAROL 3D SYSTEM+ R: 234 G:230 B: 228 KÜHLWEISS
- 7 ALUMINUM V-REVEAL CHANNEL
- 8 WOOD GARAGE DOOR
- 9 STUCCO, WHITE
- 10 OAK/WALNUT FINISH
- 11 MAIL/PARCEL BOXES

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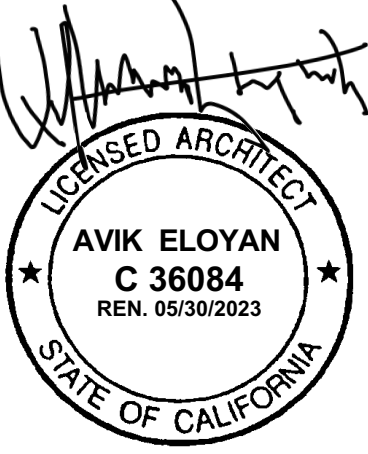
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BUILDING A. SOUTH AND NORTH ELEVATION  
A4.0





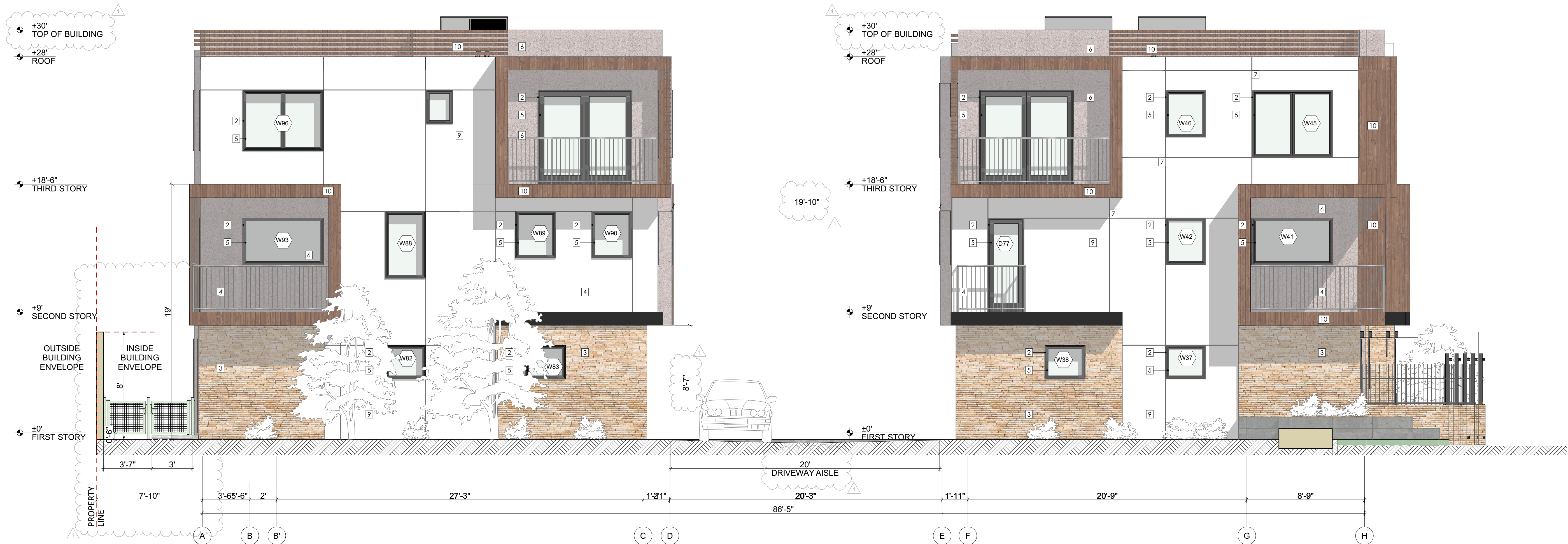
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- 2 DARK GREY TRIM
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- 4 METAL RAILING
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BUILDING B

BUILDING A



EAST ELEVATION  
SCALE: 1/4" = 1'-0"

1

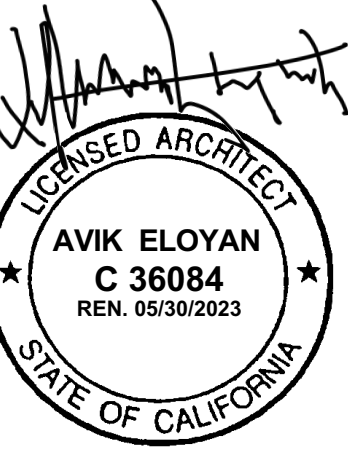
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EAST ELEVATION  
A4.1





MATERIAL KEY

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NORTH ELEVATION  
SCALE: 1/4" = 1'-0" 1



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0" 2

# BUILDING B

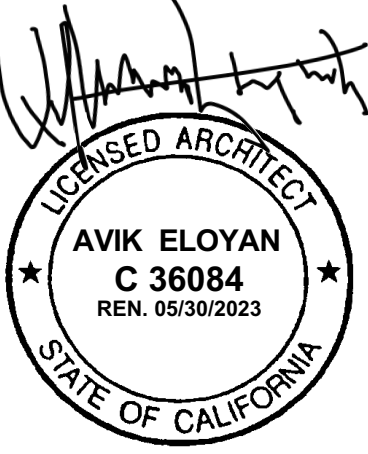
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PRODUCTION DATE  
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BUILDING B. SOUTH AND NORTH ELEVATIONS  
A4.2





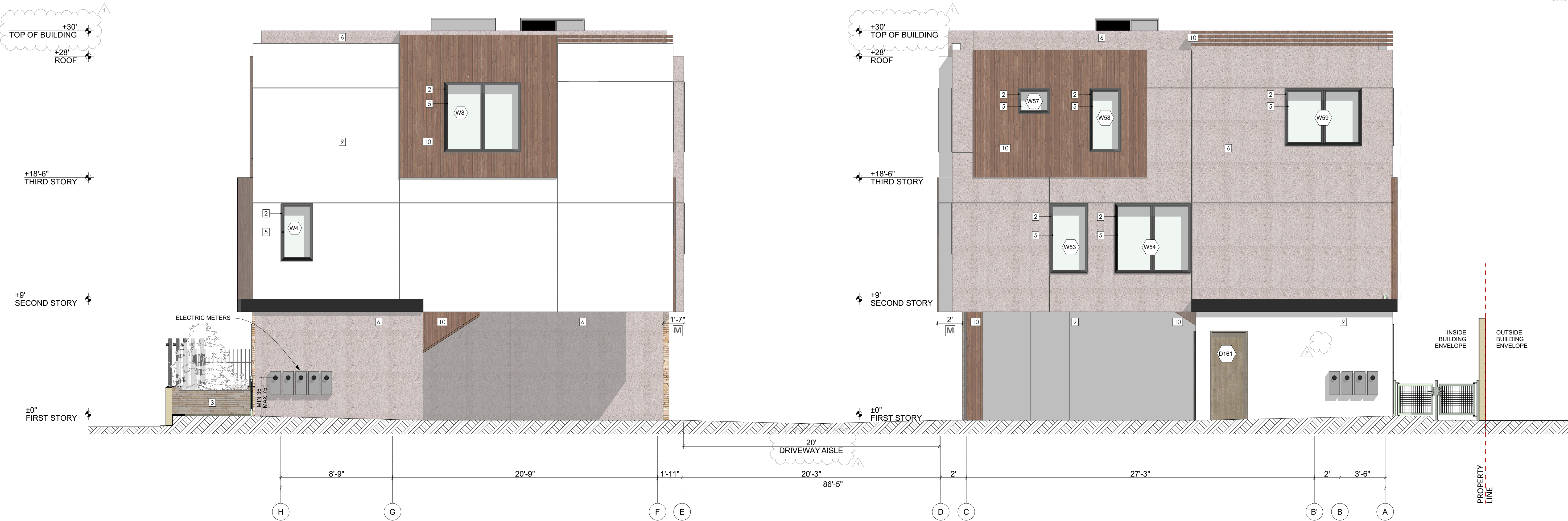
MATERIAL KEY

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- 3 STONE VENEER
- 4 METAL RAILING
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BUILDING A

BUILDING B



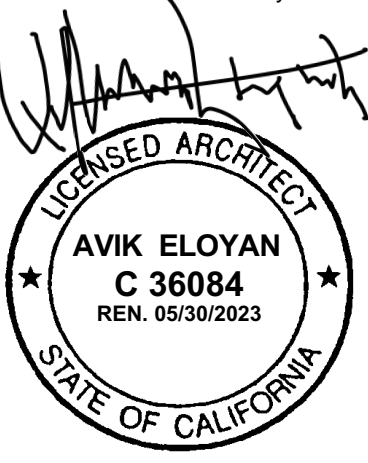
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WEST ELEVATION  
A4.3





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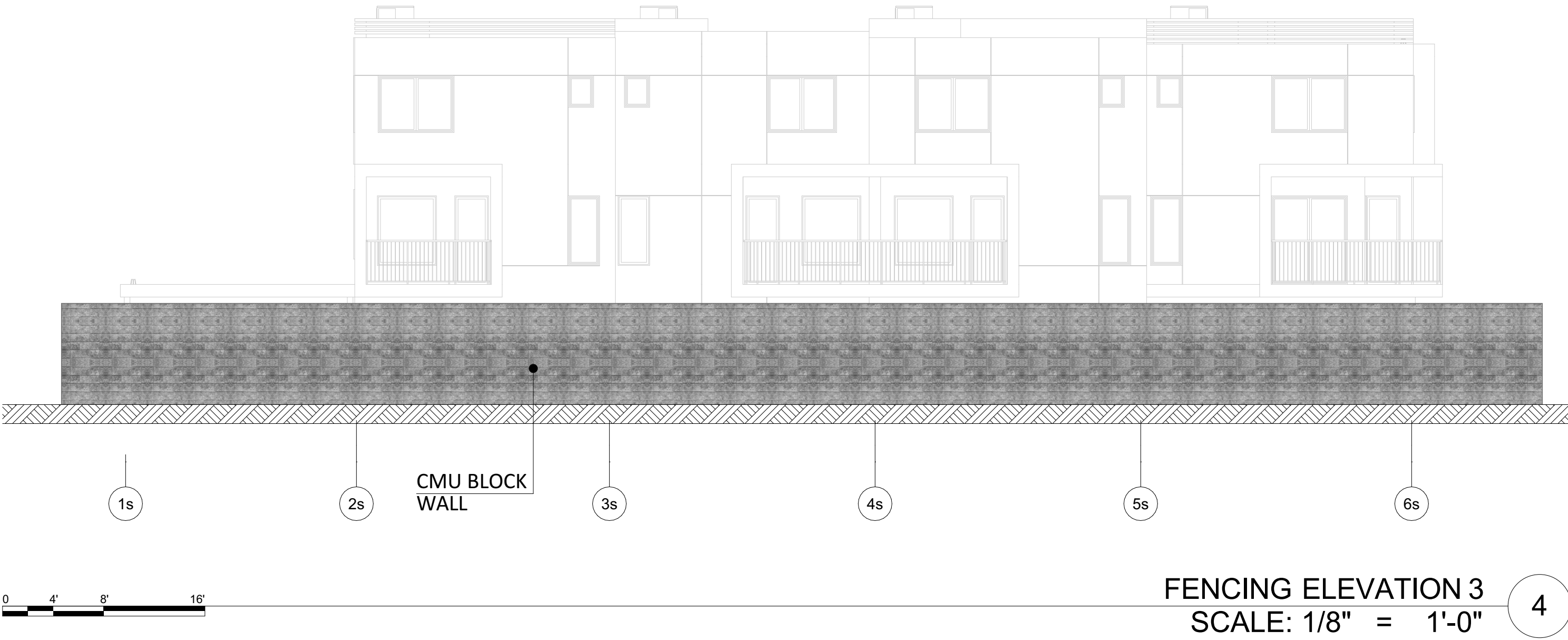
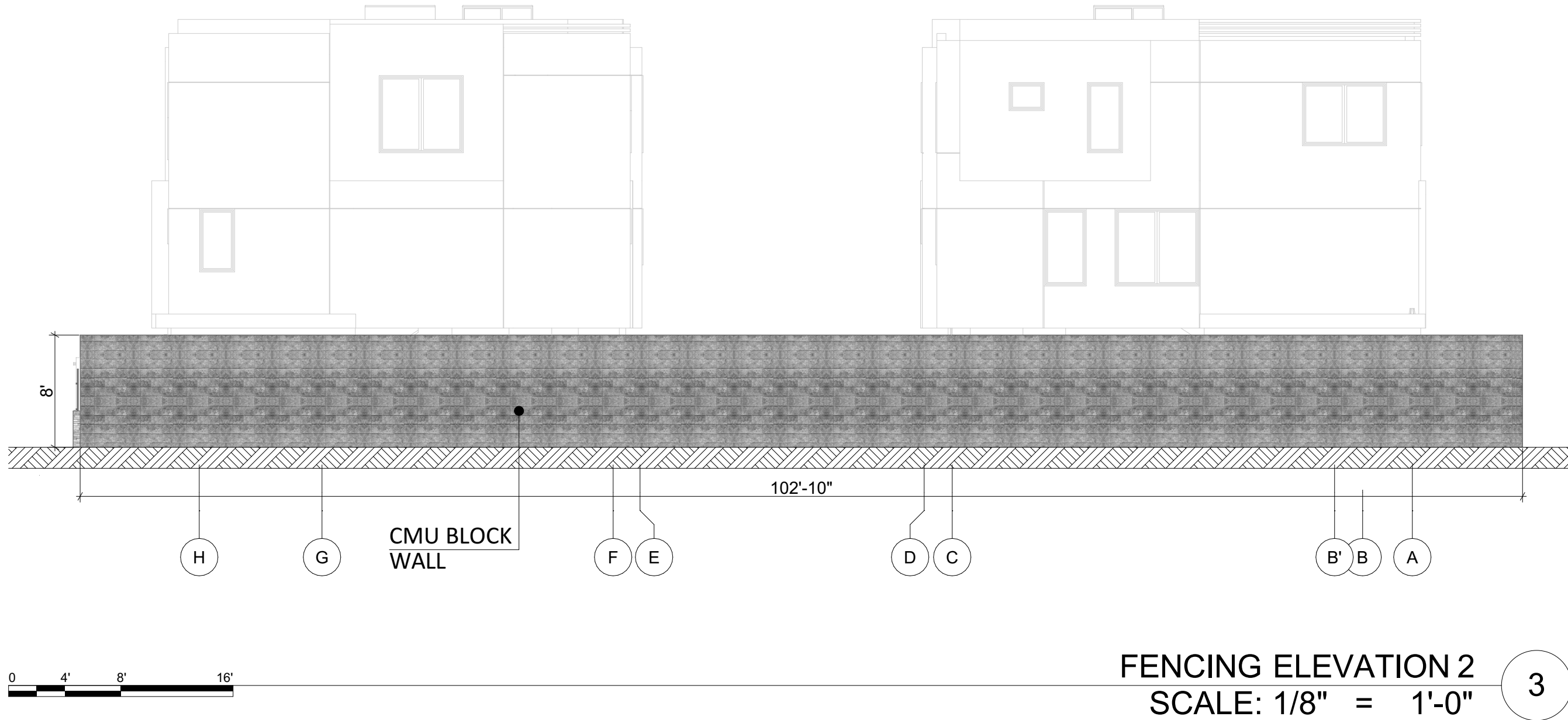
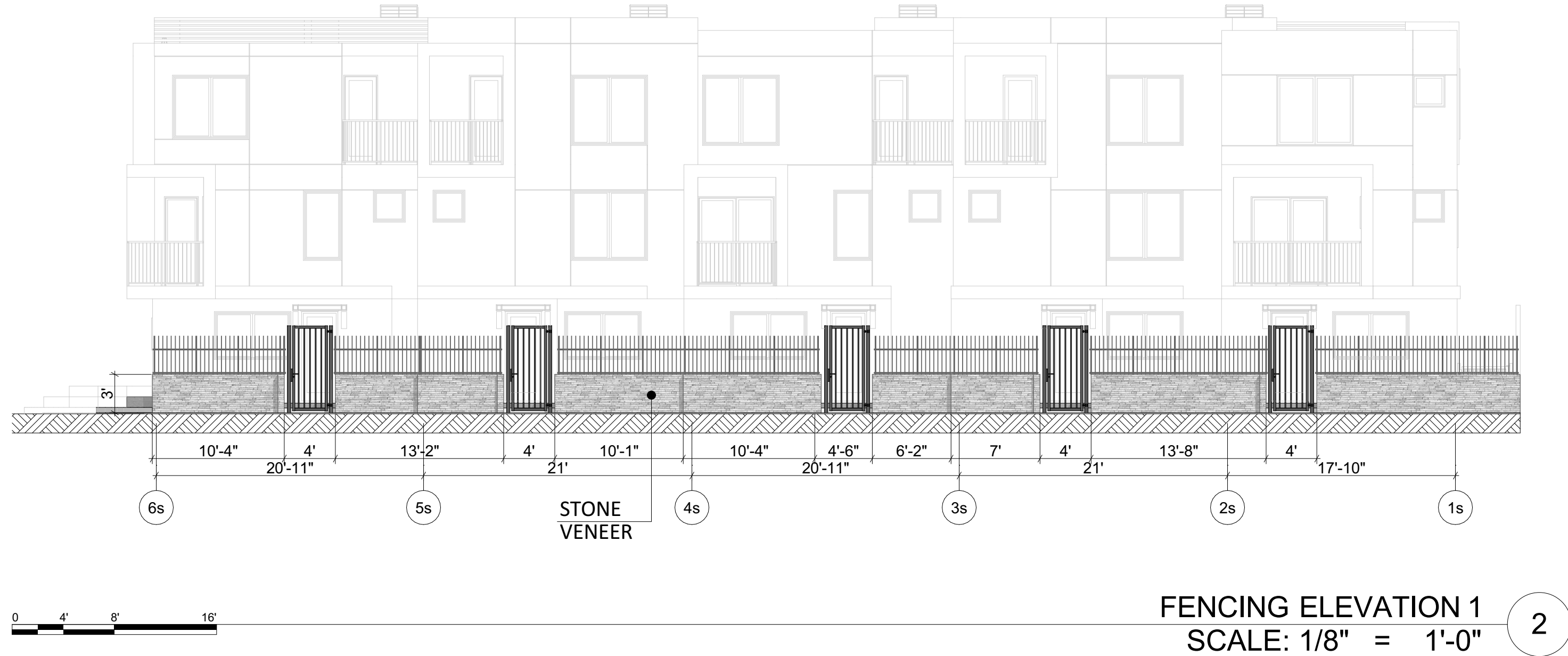
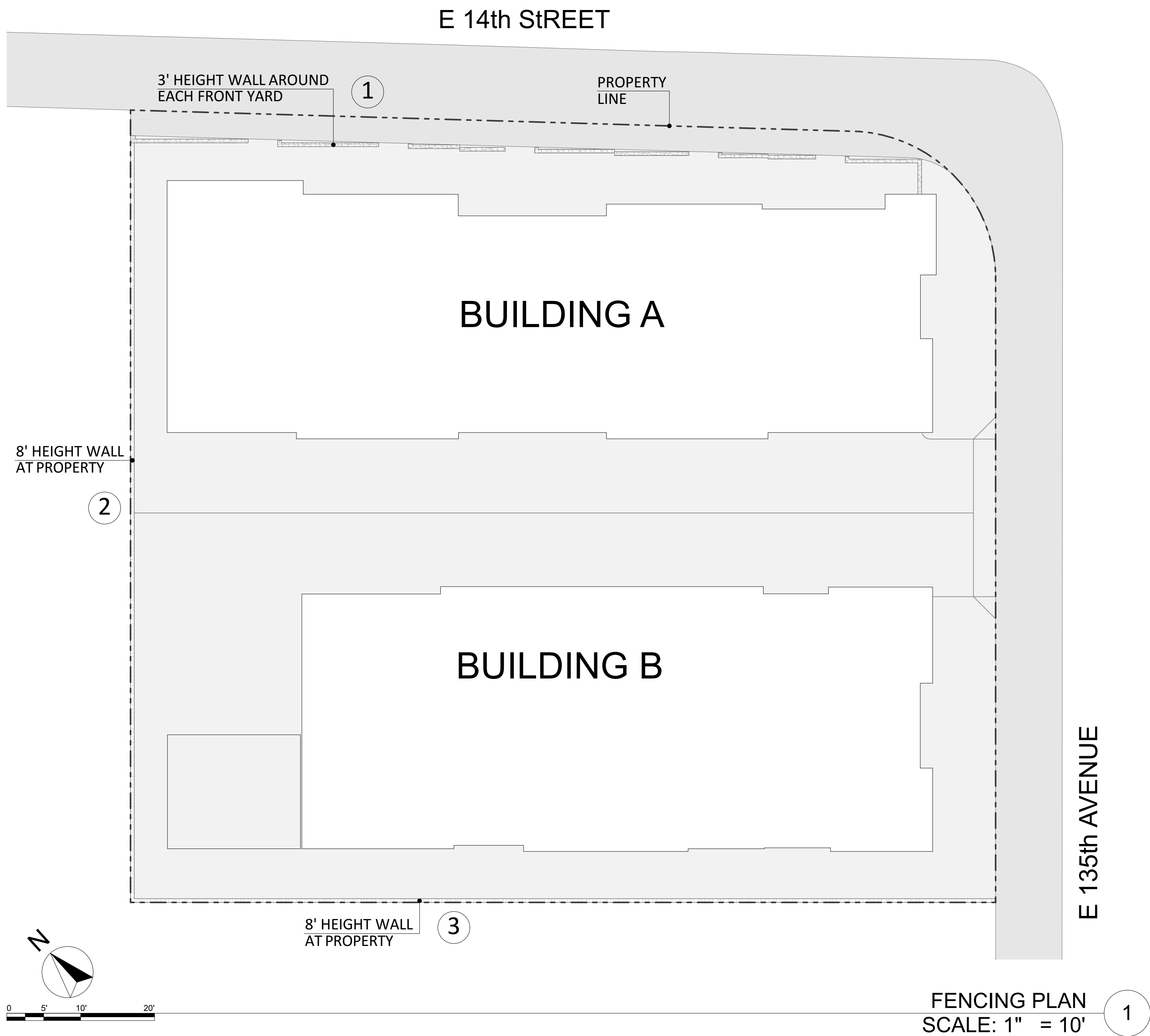
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

REVISION	
NO	DATE
1	2022.06.15
2	2023.02.13

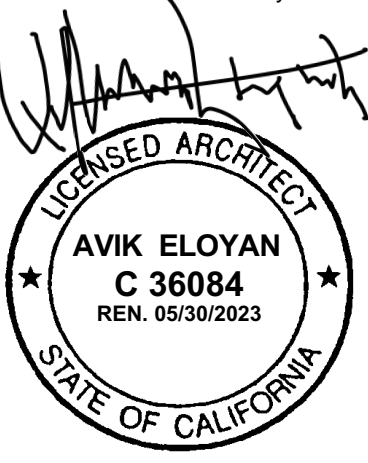
PRODUCTION DATE  
January 31, 2022

FENCING PLAN & ELEVATIONS

A4.4







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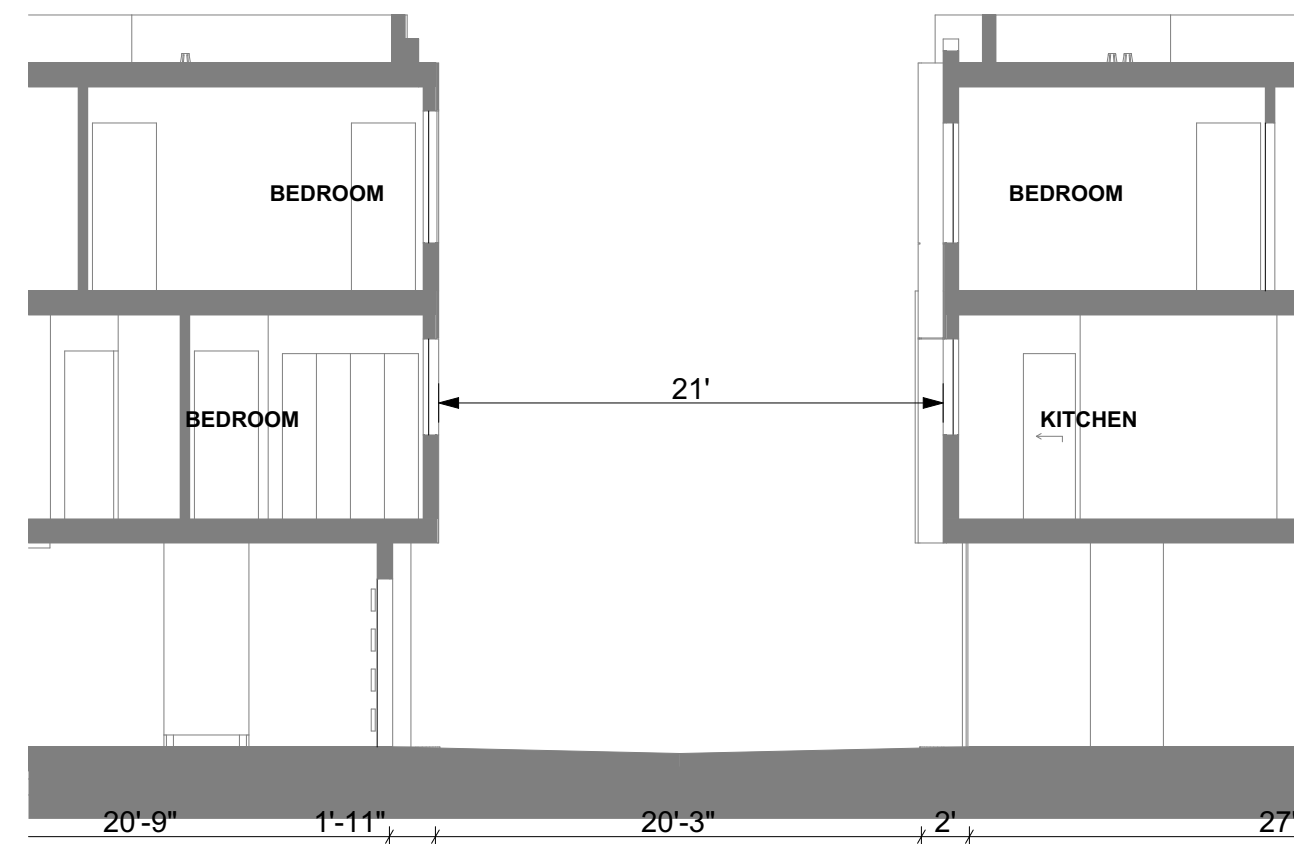
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
13489 EAST 14th STREET, SAN LEANDRO, CA  
A.P.N.: 77D-1405-1-1

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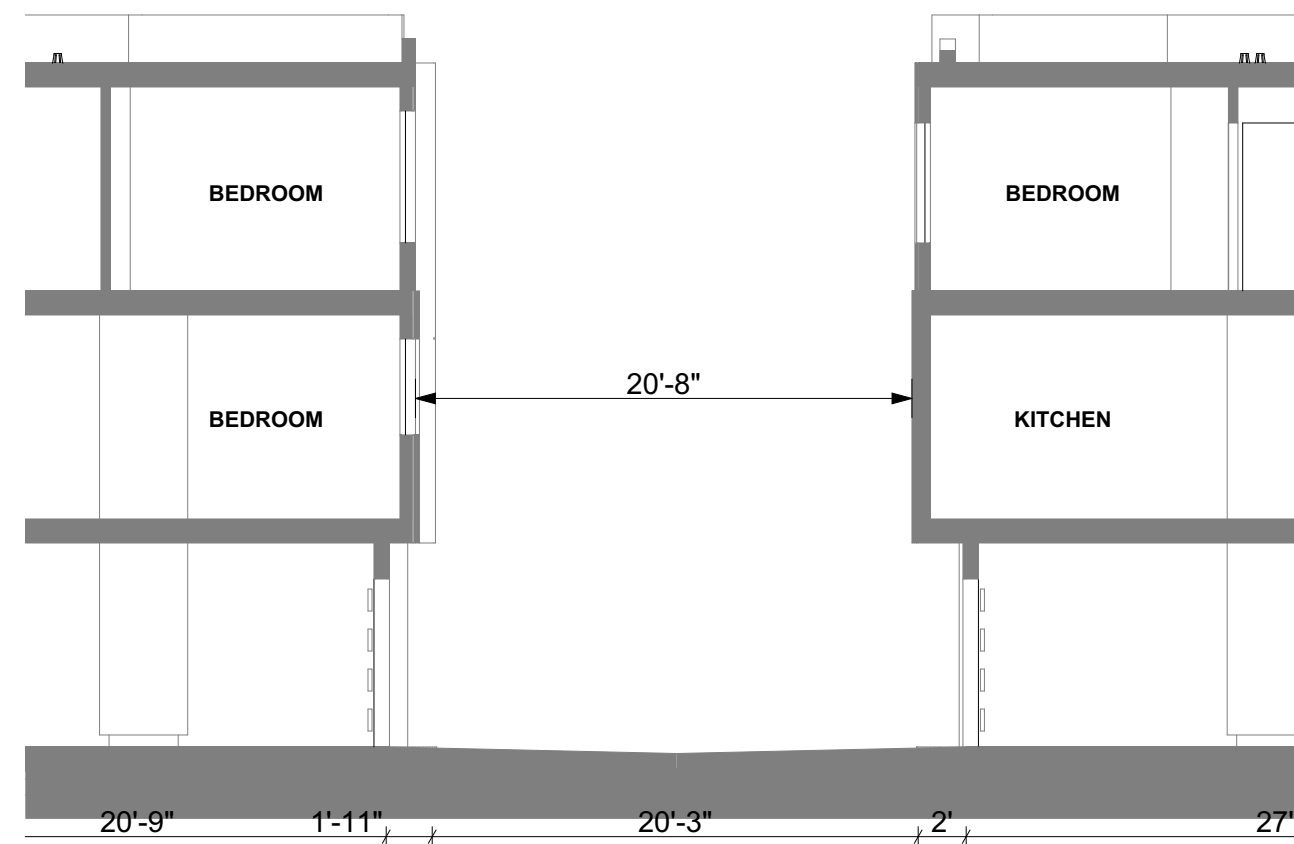
PRODUCTION DATE  
January 31, 2022

OPPOSITE WINDOWS  
DIAGRAM - THIRD  
FLOOR

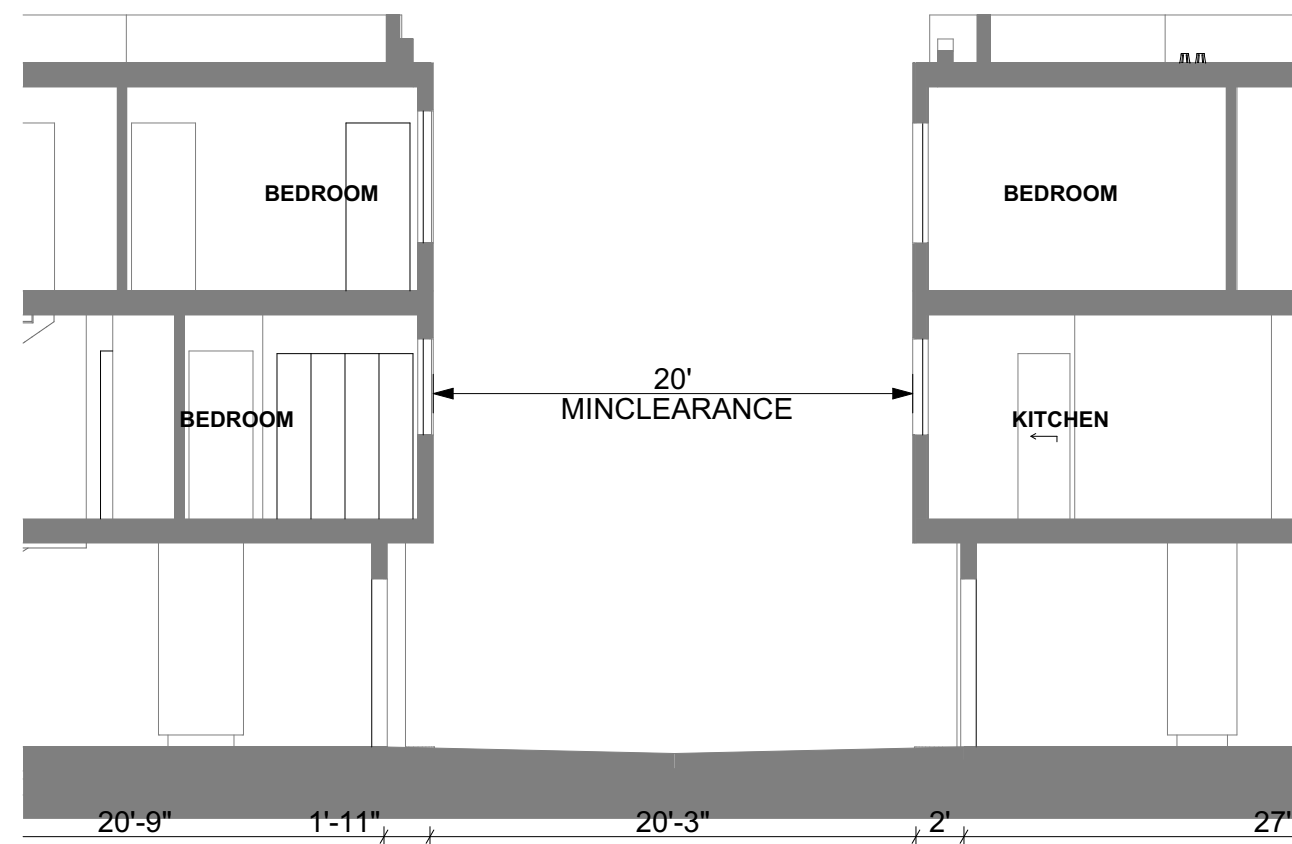
A4.5



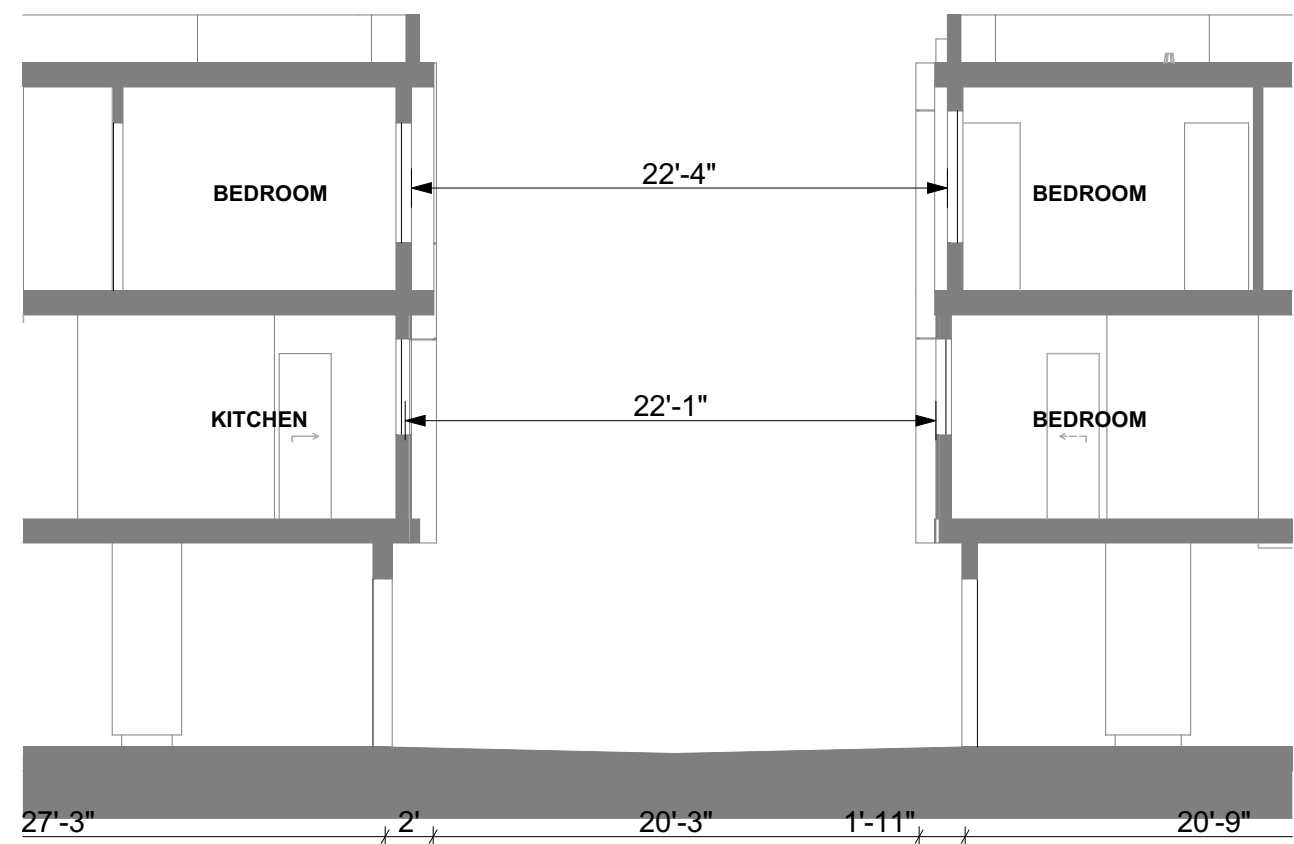
SECTION 1  
SCALE: 1/8" = 1'-0"



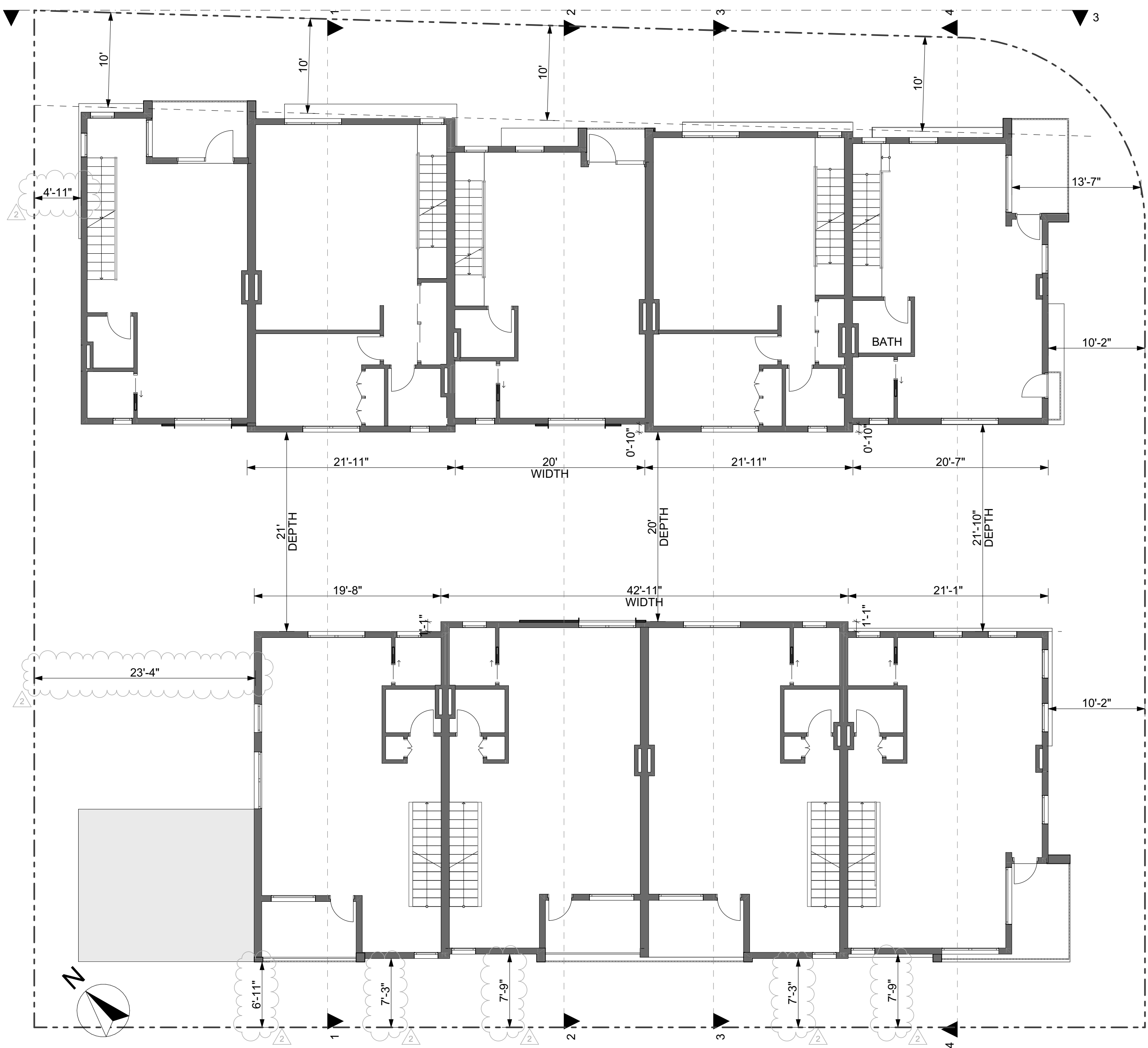
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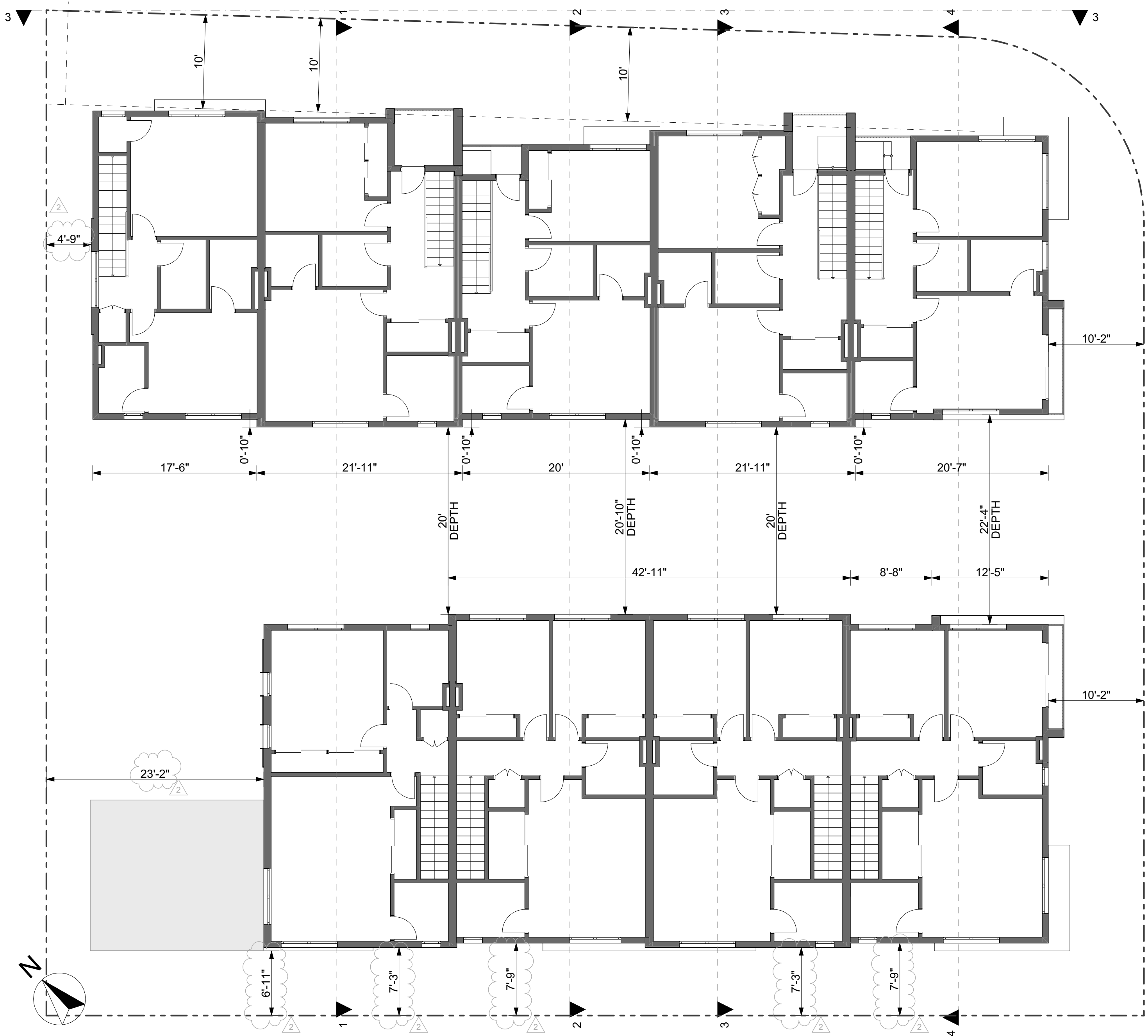
SECTION 3  
SCALE: 1/8" = 1'-0"



SECTION 4  
SCALE: 1/8" = 1'-0"



SECTION 5  
SCALE: 1/8" = 1'-0"



SECTION 6  
SCALE: 1/8" = 1'-0"



BUILDING A

Building A Door Schedule		
Element ID	W x H Size	Orientation
D1	3'x7'	R
D2	3'x7'	R
D3	4'-8"x7'	R
D4	2'-10"x7'	L
D5	2'-8"x7'	R
D6	2'-2"x6'-11"	L
D7	6'x7'	L
D8	2'-6"x7'	R
D9	2'-8"x7'	R
D10	2'-8"x7'	R
D11	2'-8"x7'	L
D12	2'-8"x7'	R
D13	2'-9"x7'	R
D14	2'-8"x7'	R
D15	2'-10"x7'	L
D16	2'-10"x7'	L
D17	16'x7'	L
D18	3'-2"x7'	L
D19	2'-10"x7'	L
D20	2'-8"x7'	L
D21	2'-10"x6'-11"	L
D22	2'-10"x6'-11"	L
D23	4'-1"x7'	R
D24	4'-1"x7'	R
D25	2'-8"x7'	L
D26	2'-8"x7'	L
D27	2'-8"x7'	R
D28	2'-8"x7'	L
D29	2'-8"x7'	L
D30	2'-8"x7'	L
D31	2'-8"x7'	L
D32	6'x7'	L
D33	3'-8"x7'	R
D34	3'-8"x7'	R
D35	2'-10"x7'	L
D36	2'-10"x7'	R
D37	16'x7'	L
D38	3'-2"x7'	R
D39	2'-10"x7'	R
D40	6'x7'	R
D41	2'-8"x7'	R
D42	2'-2"x6'-11"	L
D43	2'-8"x7'	R
D44	2'-8"x7'	L
D45	2'-8"x7'	R
D46	2'-8"x7'	R
D47	6'x7'	R
D48	2'-8"x7'	R
D49	2'-8"x7'	R
D50	5'-10"x7'	L
D51	2'-10"x7'	L
D52	2'-10"x7'	L
D53	16'x7'	L
D54	1'-8"x7'	L
D55	2'-10"x7'	L
D56	2'-8"x7'	L
D57	2'-8"x7'	L
D58	2'-10"x6'-11"	L
D59	2'-10"x6'-11"	L
D60	3'-3"x7'	R
D61	3'-3"x7'	R
D62	2'-8"x7'	L
D63	2'-8"x7'	R
D64	2'-8"x7'	L
D65	2'-8"x7'	L
D66	5'-3"x7'	L
D67	2'-8"x7'	L
D68	2'-8"x7'	L
D69	4'x7'	R
D70	4'x7'	R
D71	2'-10"x7'	R
D72	2'-10"x7'	R
D73	16'x7'	L
D74	2'-7"x7'	R
D75	2'-10"x7'	R
D76	2'-8"x7'	R
D77	2'-8"x7'	R
D78	2'-2"x6'-11"	L
D79	2'-8"x7'	R
D80	2'-8"x7'	R
D81	2'-8"x7'	L
D82	2'-8"x7'	R
D83	2'-8"x7'	R
D84	5'-3"x7'	R
D85	2'-8"x7'	R
D86	2'-8"x7'	L
D87	7'x7'	R

Building A Window Schedule				
Element ID	W x H Size	Orientation	Sill Height	Notes
W1	6'x3'-9"	L	3'-3"	
W2	3'-10"x2'-6"	R	4'-6"	
W3	2'-6"x2'-6"	L	5'	
W4	2'-6"x4'-6"	L	4'	
W5	2'x2'-6"	L	5'	EGRESS
W6	6'x4'	L	3'-6"	
W7	6'x5'-6"	R	1'-6"	
W8	6'x5'-6"	L	2'	
W9	2'x2'-6"	L	5'	EGRESS
W10	6'x5'-6"	L	2'	
W11	2'-6"x2'-6"	R	4'-6"	
W12	6'x3'-9"	L	3'-3"	
W13	2'-6"x2'-6"	L	5'	
W14	6'x5'-6"	R	2'	
W15	6'x4'	L	3'-6"	
W16	2'x2'-6"	R	5'	
W17	6'x5'-6"	L	2'	EGRESS
W18	2'x2'-6"	L	5'	
W19	6'x5'-6"	L	1'-6"	
W20	6'x3'-9"	R	3'-3"	
W21	2'-6"x2'-6"	R	5'	
W22	3'x5'-6"	R	2'	
W23	6'x4'	L	3'-6"	
W24	2'x2'-6"	L	5'	
W25	2'x2'-6"	R	5'	EGRESS
W26	6'x5'-6"	L	2'	
W27	6'x5'-6"	L	1'-6"	
W28	6'x3'-9"	L	3'-3"	
W29	2'-6"x2'-6"	R	5'	
W30	6'x5'-6"	R	2'	
W31	2'x2'-6"	L	5'	
W32	6'x4'	L	3'-6"	
W33	6'x5'-6"	L	2'	EGRESS
W34	2'x2'-6"	R	5'	
W35	6'x5'-6"	L	1'-6"	
W36	6'x3'-9"	L	3'-5"	
W37	3'x2'-6"	R	4'	
W38	3'x2'-6"	R	5'	
W39	2'-6"x2'-6"	R	5'	
W40	3'x5'-6"	L	2'	
W41	6'x3'-6"	R	3'-6"	
W42	3'x3'-6"	R	3'-6"	
W43	6'x4'	L	3'-6"	
W44	2'x2'-6"	L	5'	
W45	6'x5'	R	2'	EGRESS
W46	3'x3'-6"	R	3'-6"	
W47	6'x5'	L	2'	
W48	2'x2'-6"	L	5'	
W49	6'x5'-6"	R	2'	EGRESS

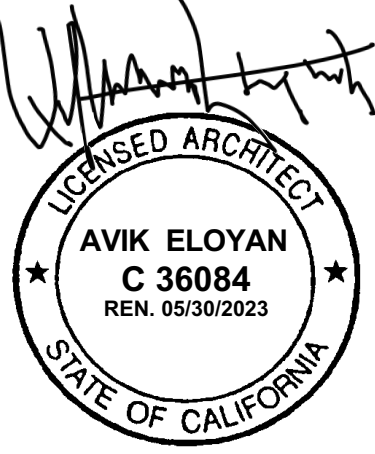
BUILDING B

Building B Door Schedule		
Element ID	W x H Size	Orientation
D88	2'-10"x7'	R
D89	8'-2"x7'	L
D90	2'-10"x7'	R
D91	3'x7'	R
D92	2'-8"x7'	R
D93	2'-8"x7'	L
D94	2'-2"x6'-10 1/2"	R
D95	2'x6'-10 1/2"	R
D96	2'-8"x7'	R
D97	2'-8"x7'	R
D98	2'-8"x6'-10 1/2"	L
D99	2'-8"x7'	R
D100	2'-8"x7'	L
D101	6'x7'	R
D102	5'-6"x7'	L
D103	5'-8"x7'	L
D104	2'-10"x7'	L
D105	2'-10"x7'	L
D106	16'x7'	L
D107	6'x7'	R
D108	2'-10"x7'	L
D109	3'x7'	L
D110	2'-8"x7'	R
D111	2'x6'-10 1/2"	L
D112	2'-8"x7'	L
D113	2'-2"x6'-10 1/2"	L
D114	2'-8"x7'	R
D115	2'-8"x7'	R
D116	2'-8"x7'	L
D117	2'-11"x6'-10 1/2"	L
D118	2'-8"x7'	L
D119	6'x7'	R
D120	6'x7'	L
D121	2'-8"x7'	R
D122	6'-10"x7'	L
D123	2'-10"x7'	R
D124	2'-10"x7'	R
D125	16'x7'	L
D126	6'x7'	L
D127	2'-10"x7'	R
D128	3'x7'	R
D129	2'x6'-10 1/2"	R
D130	2'-2"x6'-10 1/2"	R
D131	2'-8"x7'	L
D132	2'-8"x7'	R
D133	2'-8"x7'	R
D134	2'-11"x6'-10 1/2"	R
D135	2'-8"x7'	R
D136	2'-8"x7'	L
D137	2'-8"x7'	L
D138	6'x7'	L
D139	5'-4"x7'	R
D140	2'-8"x7'	L
D141	6'-10"x7'	R
D142	2'-10"x7'	L
D143	2'-10"x7'	L
D144	16'x7'	L
D145	2'-10"x7'	L
D146	6'x7'	R
D147	3'x7'	L
D148	2'-8"x7'	L
D149	2'-8"x7'	R
D150	2'x6'-10 1/2"	L
D151	2'-2"x6'-10 1/2"	L
D152	2'-8"x7'	R
D153	2'-8"x7'	R
D154	2'-8"x7'	L
D155	2'-11"x6'-10 1/2"	L
D156	2'-8"x7'	L
D157	5'-4"x7'	L
D158	6'-10"x7'	L
D159	2'-8"x7'	R
D160	7'x7'	R
D161	2'-11"x7'	R
D162	9'x7'	L

Building B Window Schedule				
Element ID	W x H Size	Orientation	Sill Height	Notes
W50	5'x3'-9"	R	3'-3"	
W51	2'-6"x2'-6"	L	5'	
W52	6'x4'	L	3'-6"	
W53	3'x5'-6"	L	2'	
W54	6'x5'-6"	L	2'	
W55	2'-6'x5'-6"	L	1'-6"	
W56	4'-8'x5'-6"	R	1'-6"	
W57	2'-6'x2'	R	5'	
W58	2'-6'x5'	R	2'	
W59	6'x4'-6"	L	2'-6"	
W60	6'x4'-6"	L	2'-6"	
W61	6'x5'	L	2'	
W62	2'x2'-6"	L	4'-6"	
W63	2'x2'-6"	L	4'-6"	
W64	5'-6'x3'-9"	L	3'-3"	
W65	6'x4'	L	3'-6"	
W66	2'-6'x2'-6"	L	5'	
W67	2'-6'x5'-6"	R	1'-6"	
W68	4'-8'x5'-6"	L	1'-6"	
W69	6'x5'	L	2'	
W70	6'x5'	L	2'	EGRESS
W71	5'-6'x4'-6"	R	2'-6"	
W72	2'x2'-6"	R	4'-6"	
W73	6'x3'-9"	L	3'-3"	
W74	2'-6'x2'-6"	L	5'	
W75	6'x4'	L	3'-6"	
W76	4'-8'x5'-6"	R	1'-6"	
W77	2'-6'x5'-6"	L	1'-6"	
W78	6'x5'	R	2'	EGRESS
W79	6'x5'	R	2'	
W80	6'x4'-6"	R	2'-6"	
W81	2'x2'-6"	R	4'-6"	
W82	3'x2'-6"	R	4'	
W83	3'x2'-6"	L	4'-6"	
W84	6'x3'-9"	L	3'-3"	
W85	3'x4'	L	3'-6"	
W86	3'x4'	L	3'-6"	
W87	2'-6'x2'-6"	L	5'	
W88	3'x5'	L	2'-6"	
W89	3'x3'-6"	R	4'	
W90	3'x3'-6"	R	4'	
W91	2'-6'x5'-6"	L	1'-6"	
W92	6'x7'	L		
W93	6'x3'-6"	L	3'-6"	
W94	6'x5'	R	2'	EGRESS
W95	6'x5'	R	2'	
W96	6'x4'-6"	R	2'-6"	
W97	6'x4'-6"	L	2'-6"	
W98	2'x2'-6"	R	4'-6"	EGRESS
W99	2'x2'-6"	L	4'-6"	



ELOYAN ARCHITECTS INC  
1032 Second st. #7  
Lafayette, CA, 94549  
Ph. 415.966.1110.  
www.eloyan.com



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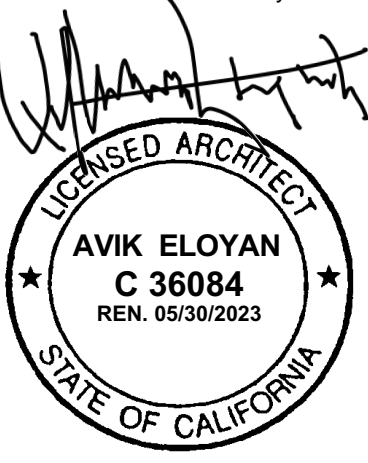
HILLCREST VILLAGE, 9-UNIT MULTIFAMILY DEVELOPMENT  
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A.P.N.: 77D-1405-1-1

REVISION		DATE
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	2	2023.02.13

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SCHEDULES  
A7.0





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FRONT VIEW FROM INTERSECTION ON EAST 14th and 135 Ave 1



VIEW FROM E 135 AVENUE 3



VIEW FROM E 14TH STREET 2



VIEW FROM E 135 AVENUE 4

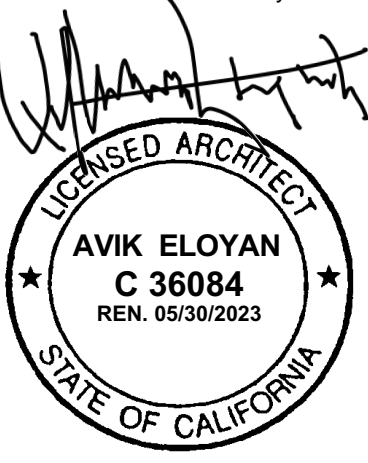
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3D VIEWS  
A8.0





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BUILDING MATERIAL BOARD  
A8.1



ADDRESS, HOUSE AND UNIT NUMBERS



ALUMINUM V-REVEAL CHANNEL



STONE VENEER



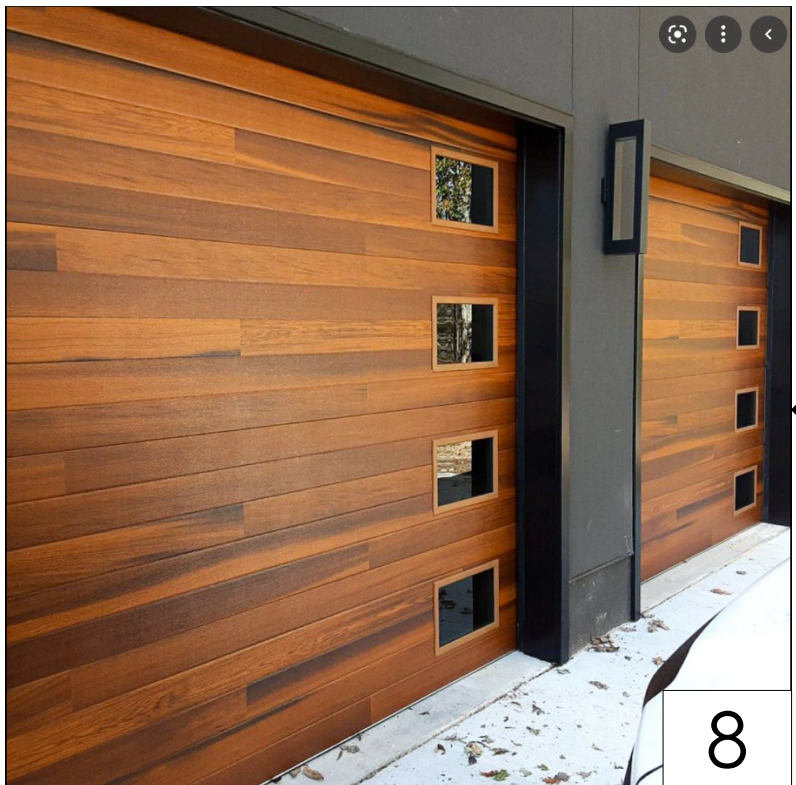
STUCCO, WHITE



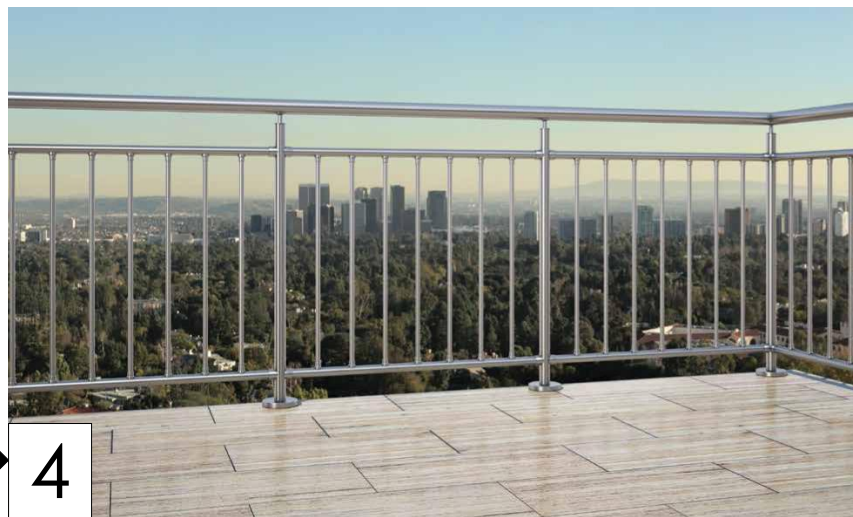
STUCCO, WHITE



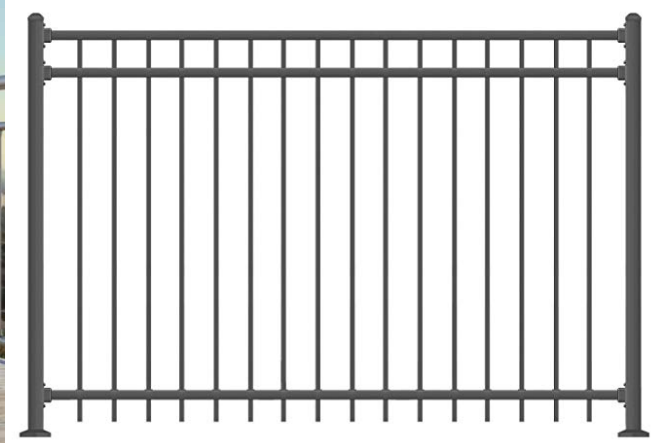
DEEP REVEAL AND DARK GREY TRIM AROUND THE OPENINGS



GARAGE DOOR



METAL RAILING



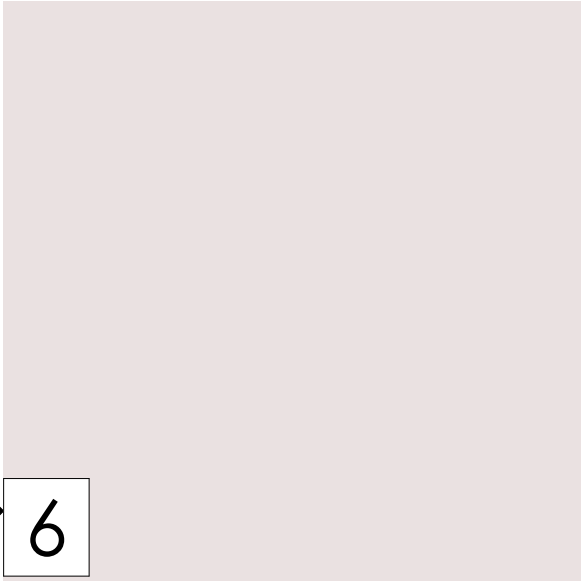
MAIL AND PARCEL BOXES



MAIL AND PARCEL BOXES



OAK FINISH

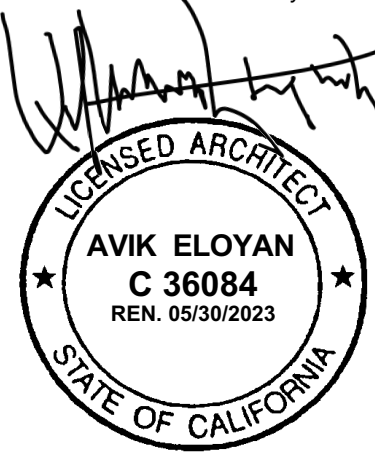


STUCCO, CAPAROL 3D SYSTEM PLUS  
R: 234 G:230 B: 228 KUHLEWEISS



MARVIN, SIGNATURE MODERN COLLECTION,  
GUNMETAL FINISH, GRAPHITE BLACK 9011





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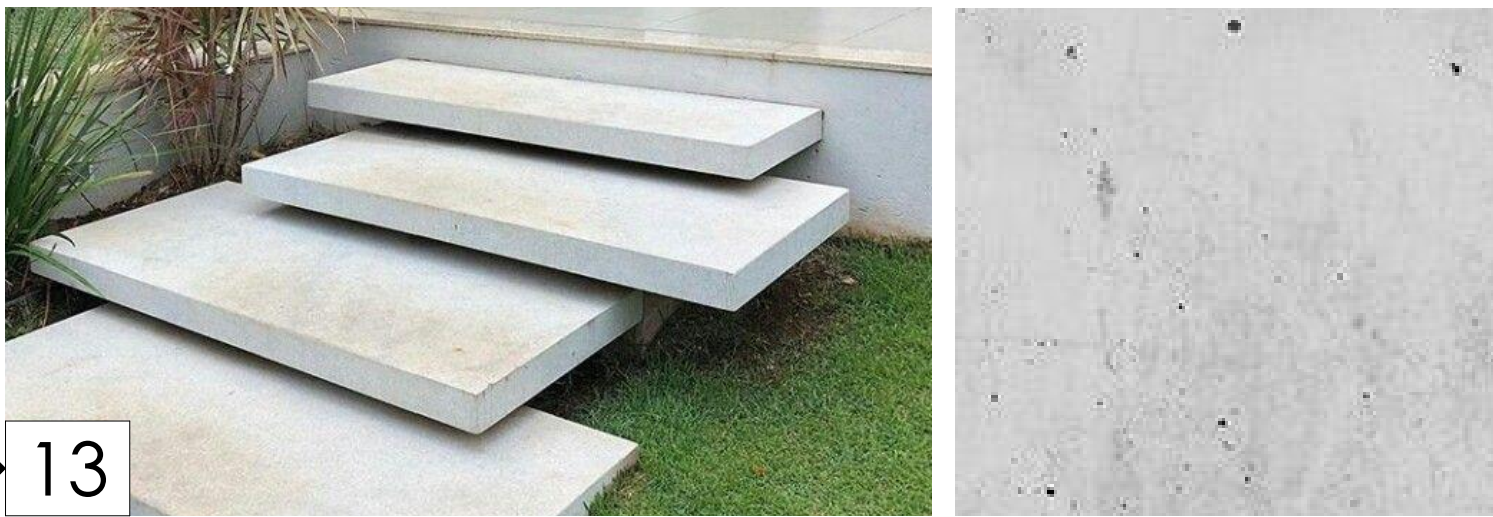
REVISION	
NO	DATE
1	2022.06.15
2	2023.02.13

PRODUCTION DATE  
January 31, 2022

SITE MATERIAL  
BOARD  
A8.2



12  
PERMEABLE  
CONCRETE PAVERS  
(243,240,237)



13  
CONCRETE rgb  
(243,240,237)



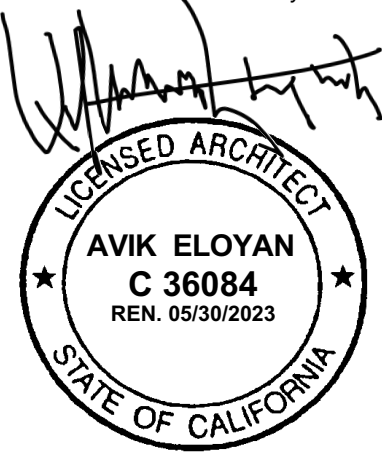
14  
GRASS & CONCRETE



15  
SYNTRA. DOWNLIGHT PATH LIGHTING







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ARCHITECTURAL  
RENDERS  
A8.3

13  
8  
5  
3  
2  
1  
0





VESTING TENTATIVE TRACT MAP  
FOR MULTI-FAMILY TOWNHOME PURPOSES  
13489 EAST 14TH STREET  
TOTAL UNITS: 9 RESIDENTIAL  
SAN LEANDRO, ALAMEDA COUNTY, CALIFORNIA  
SUBDIVISION \_\_\_\_

LEGEND:

- SANITARY SEWER MANHOLE  
○ WATER VALVE  
○ FOUND MONUMENT AS NOTED  
○ STANDARD STREET MONUMENT  
--- EASEMENT LINE  
--- ADJACENT PROPERTY LINE  
--- BOUNDARY LINE  
--- TIE LINE  
--- CENTERLINE  
--- EXISTING WATER LINE  
--- EX SD --- EXISTING STORM DRAIN PIPE  
--- OE --- EXISTING ELECTRIC CABLE  
--- (E)SS --- EXISTING SANITARY SEWER LINE  
--- EXISTING EDGE OF PAVEMENT  
--- EXISTING BUILDING  
--- EXISTING CURB AND GUTTER  
○ EXISTING TREE

ABBREVIATIONS:

- BLDG BUILDING  
CONC CONCRETE  
(E)EX EXISTING  
ESMT EASEMENT  
FNC FENCE  
INV. INVERT  
P.U.E PRIVATE UTILITY EASEMENT  
REBAR. REBAR  
( ) RECORD DATA  
R/W RIGHT OF WAY  
SSCO SANITARY SEWER CLEANOUT  
SSMH SANITARY SEWER MANHOLE  
SDDI STORM DRAIN DRAIN INLET  
(T) TOTAL  
WM WATER METER  
WV WATER VALVE

SURVEY NOTE

TOPOGRAPHIC AND BOUNDARY SURVEY WAS PROVIDED BY DMG ENGINEERING, INC., DATED MARCH 15, 2019.

BASIS OF BEARINGS

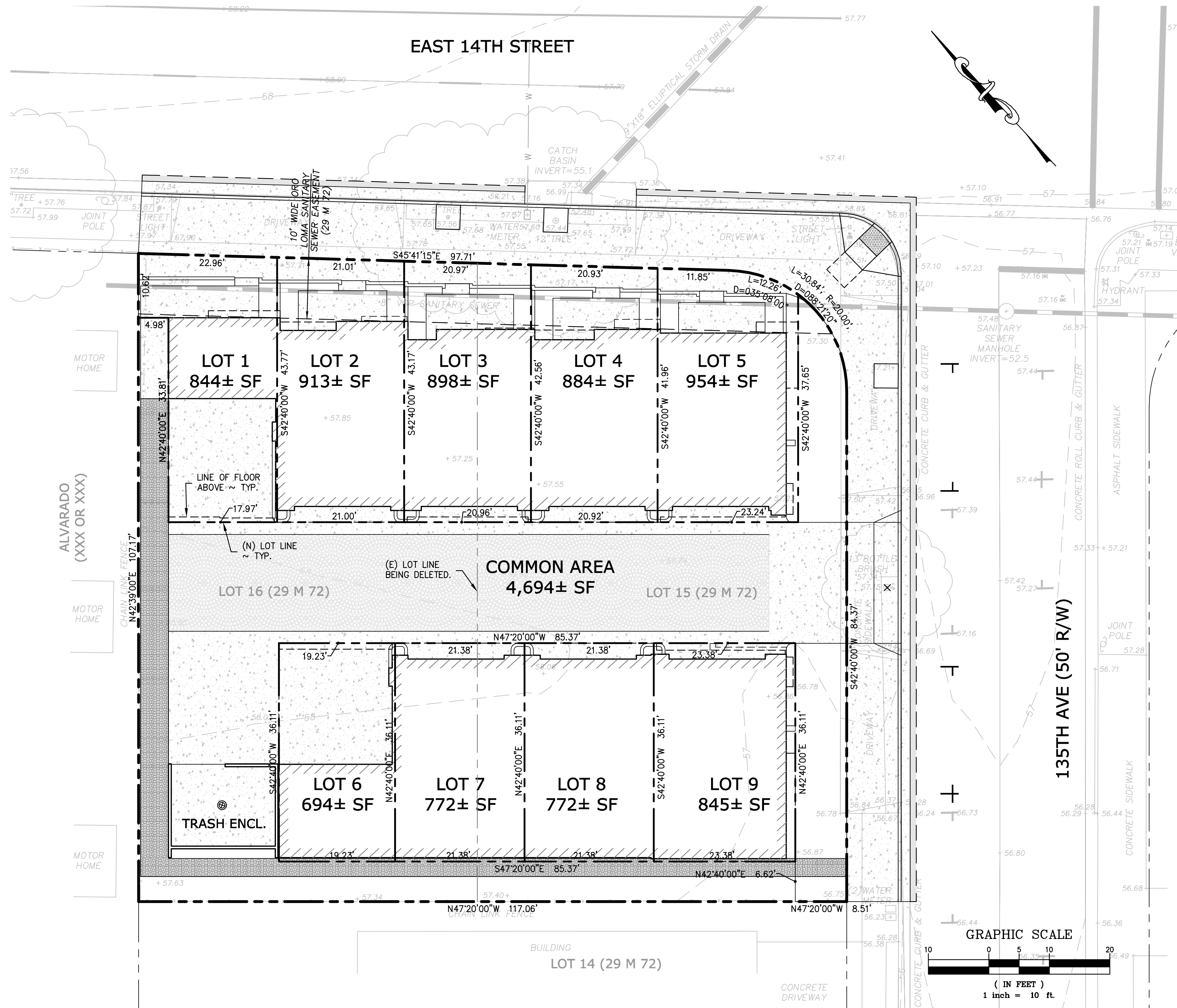
THE PROPERTY LINE ALONG EAST 14TH STREET IS TAKEN AS S45°41'15"E, AS PER THE TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY DMG ENGINEERING, INC., DATED MARCH 15, 2019, AND AS SHOWN ON CERTAIN MAP ENTITLED "TRACT 900, EDEN TOWNSHIP, ALAMEDA COUNTY, CALIFORNIA", (29 M 72), ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS

PER THE BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY DMG ENGINEERING, INC., "ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM, RIM ELEVATION OF SANITARY SEWER MANHOLE IN 135TH AVENUE AS SHOWN HEREON TAKEN AS 57.48 FEET."

FLOOD ZONE

FEMA FLOOD INSURANCE RATE MAP  
NFIP COMMUNITY NAME & NUMBER: CITY OF SAN LEANDRO 060013  
ZONE X - AREA OF MINIMAL FLOOD HAZARD  
COMMUNITY PANEL NO: 06001C0259G  
EFFECTIVE DATE: 08/03/2009



PROJECT SUMMARY

PROPERTY ADDRESS:	13489 EAST 14TH STREET SAN LEANDRO, CA 94578
OWNER / DEVELOPER:	SHOONYA LLC 33837 6TH STREET UNION CITY, CA 94587 (505) 353-1173
CIVIL ENGINEER:	DEBOLT CIVIL ENGINEERING, INC. 480 SAN RAMON VALLEY BLVD - SUITE L DANVILLE, CALIFORNIA 94526 (925) 837-3780
SURVEYOR:	DMG ENGINEERING, INC. 30 OAKVUE COURT PLEASANT HILL, CALIFORNIA 94523 (925) 787-0463
ASSESSOR'S PARCEL NO.:	077D-1405-1-1
TOTAL AREA:	12,270± SQ.FT. / 0.28± AC
EXISTING ZONING:	SA-2
EXISTING LAND USE:	COMMERCIAL / VACANT
PROPOSED ZONING:	SA-2
PROPOSED LAND USE:	MULTI-FAMILY RESIDENTIAL
UTILITIES:	
WATER SUPPLY:	EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
FIRE PROTECTION:	ALAMEDA COUNTY FIRE DEPARTMENT
SEWAGE DISPOSAL:	ORO LOMA SANITARY DISTRICT
STORM DRAIN:	CITY OF SAN LEANDRO
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE TELEVISION:	COMCAST

SHEET INDEX

SHEET	DESCRIPTION
VTM-1	VESTING TENTATIVE PARCEL MAP
VTM-2	PRELIMINARY GRADING, DRAINAGE, AND UTILITY PLAN
VTM-3	PRELIMINARY STORM WATER CONTROL PLAN

ENGINEER'S STATEMENT

CIVIL ENGINEERING WORK ON THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD CIVIL ENGINEERING PRACTICE.

*Easton C. McAllister*

10/27/2022

EASTON C. MCALLISTER, PE  
P.E. #61148 EXP 12/31/22

DATE

VESTING  
TENTATIVE TRACT MAP

13489 EAST 14TH STREET

SAN LEANDRO

ALAMEDA COUNTY

CALIFORNIA

EASTON C MCALLISTER - PE 61148 / PLS 9583  
RENEWAL DATE: 12/31/22 (PE) 03/31/23 (PLS)

#	REVISIONS	DATE

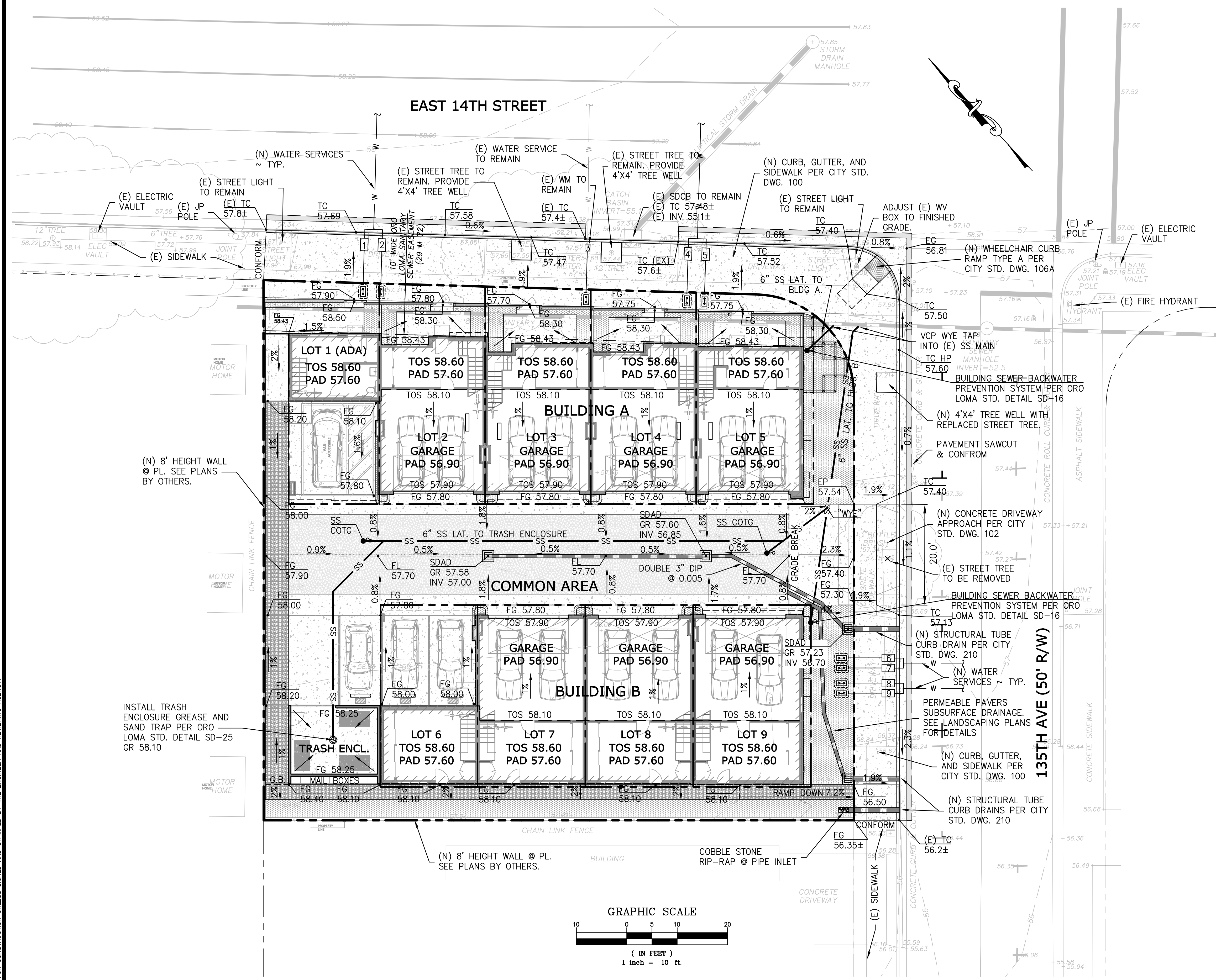


**DEBOLT CIVIL ENGINEERING**  
**45+**  
YEARS  
480 SAN RAMON VALLEY BLVD #L  
DANVILLE, CALIFORNIA 94526  
(925) 837-3780 | DEBOLTCIVIL.COM

Date:  
10/27/2022  
Scale:  
1" = 10'  
By:  
VST  
Job No.:  
22210



ALL PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS SIGNED AND STAMPED BY THE ENGINEER AND REVIEWING AGENCY.

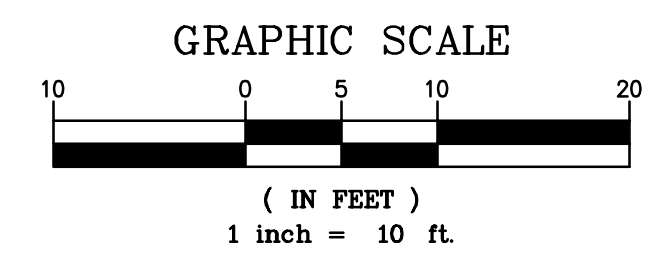


GRADING NOTES:

- 1) ALL DRY UTILITIES, WATER AND SEWER SERVICES BY OTHERS.
- 2) BUILDING SETBACKS TO BE CONFIRMED BY OTHERS.
- 3) CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 8" BETWEEN LOWEST WOOD STRUCTURAL MEMBER AND THE ADJACENT EXTERIOR FINISHED GRADE.
- 4) DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPE WITH SPLASH BLOCK ENERGY DISSIPATORS.
- 5) PAD GRADES ARE ASSUMED, TO BE CONFIRMED WITH FINAL FOUNDATION DESIGN.
- 6) UTILITY LATERALS AND SERVICES TO BE ABANDONED SHALL BE ENTIRELY REMOVED AND CAPPED AT THE MAIN LINE.
- 7) ALL NEW UTILITY SERVICES TO THE SITE SHALL BE PLACED UNDERGROUND.
- 8) ALL PROPOSED STORM DRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAIN TO BAY" PER THE CITY OF SAN LEANDRO STANDARD DRAWING 204. STORM DRAIN INLETS SHALL BE PROVIDED WITH TRASH CAPTURE DEVICE AS PER RWQCB.
- 9) ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE ENGINEERING AND TRANSPORTATION DEPARTMENT PRIOR TO ANY WORK WITHIN THE CITY OF SAN LEANDRO PUBLIC RIGHT-OF-WAY.
- 10) ALL REQUIRED PERMITS SHALL BE OBTAINED FROM CALTRANS PRIOR TO ANY WORK WITHIN EAST 14TH STREET (STATE ROUTE 185). A COPY OF ALL PERMITS SHALL BE PROVIDED TO THE CITY OF SAN LEANDRO PRIOR TO THE START OF WORK.
- 11) CONTRACTOR SHALL COMPLY WITH THE FOLLOWING HIGH STANDARD OF SANITATION DURING CONSTRUCTION: GARBAGE CANS, CONSTRUCTION DUMPSTERS, AND DEBRIS PILES SHALL BE REMOVED ON A MINIMUM WEEKLY BASIS. ALL FOOD RELATED TRASH ITEMS SHALL BE DISPOSED OF IN CLOSED CONTAINERS ONLY, AND SHALL BE REGULARLY REMOVED FROM THE SITE.
- 12) STORMWATER POLLUTION SOURCE CONTROL MEASURES SHALL BE IMPLEMENTED AT ALL TIMES, AS PER THE CITY OF SAN LEANDRO REQUIREMENTS.

LEGEND

- IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
- PERMEABLE TRAFFIC RATED CONCRETE PAVERS. SEE LANDSCAPING PLANS FOR DETAILS
- PERMEABLE PEDESTRIAN PAVERS. SEE LANDSCAPING PLANS FOR DETAILS
- BUILDING OUTLINE
- LANDSCAPING AREA. SEE LANDSCAPING PLANS FOR DETAILS.



PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

13489 EAST 14TH STREET

SAN LEANDRO

ALAMEDA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583  
RENEWAL DATE: 12/31/22 (PE) 03/31/23 (PLS)

#	REVISIONS	DATE

D

**DEBOLT CIVIL ENGINEERING**  
**45+**  
YEARS

480 SAN RAMON VALLEY BLVD #L  
DANVILLE, CALIFORNIA 94526  
(925) 837-3780 | DEBOLTCIVIL.COM

Date: 10/27/2022  
Scale: 1" = 10'  
By: VST  
Job No.: 22210



C.3 STORMWATER COMPLIANCE

- 1) THE PROJECT IS EXEMPT FROM ALAMEDA COUNTY C.3 REQUIREMENTS DUE TO THE 10,000 SQ.FT. MINIMUM THRESHOLD FOR NEW IMPERVIOUS SURFACES.
- ROOF AREA: 6,470± SF

CONCRETE: 2,058± SF

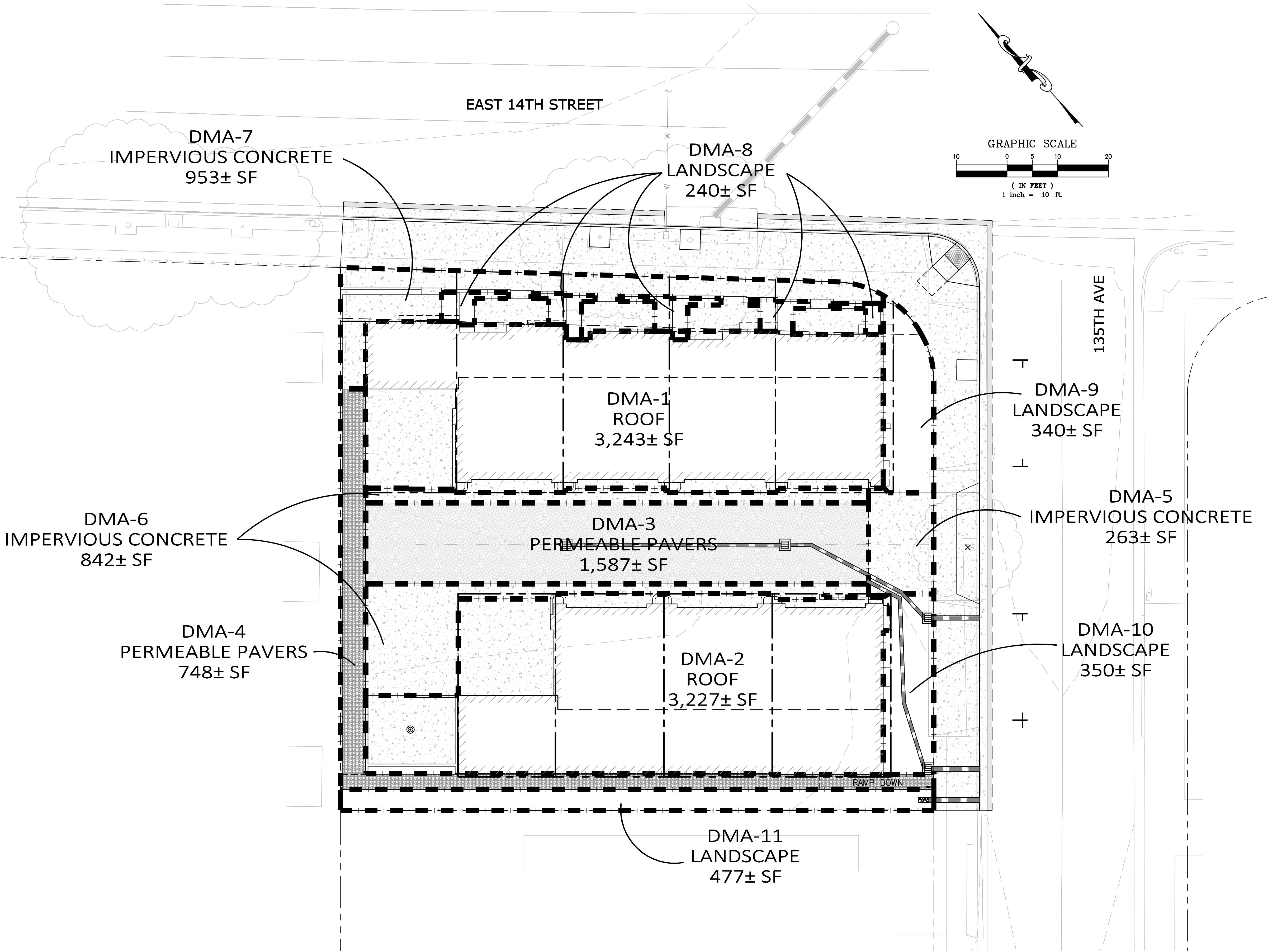
TOTAL IMPERV: 8,528± SF
- 2) PROJECT COMPLIES WITH ALAMEDA COUNTY REQUIREMENTS FOR UNREGULATED PROJECTS AS FOLLOWS:
- CONSTRUCT SIDEWALKS, WALKWAYS, DRIVEWAY WITH PERMEABLE SURFACES.

• WHERE FEASIBLE, DIRECT ROOF RUNOFF TO LANDSCAPE AREAS.

DMA SUMMARY TABLE			
DMA	IMPERVIOUS	PERVIOUS	TOTAL
1	3,243± SF	0	3,243
2	3,227± SF	0	3,227
3	---	1,587± SF	1,587
4	---	748± SF	748
5	263± SF	---	263
6	842± SF	---	842
7	953± SF	---	953
8	---	240± SF	240
9	---	340± SF	340
10	---	350± SF	350
11	---	477± SF	477
TOTAL	8,528± SF	3,742± SF	12,270± SF

LEGEND

- IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
- PERMEABLE TRAFFIC RATED CONCRETE PAVERS. SEE LANDSCAPING PLANS FOR DETAILS
- PERMEABLE PEDESTRIAN PAVERS. SEE LANDSCAPING PLANS FOR DETAILS
- BUILDING OUTLINE
- LANDSCAPING AREA. SEE LANDSCAPING PLANS FOR DETAILS.



PRELIMINARY  
STORM WATER CONTROL PLAN

13489 EAST 14TH STREET

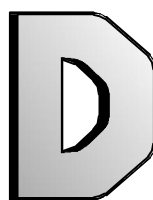
SAN LEANDRO

ALAMEDA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583  
RENEWAL DATE: 12/31/22 (PE) 03/31/23 (PLS)

#	REVISIONS	DATE



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10/27/2022  
Scale:  
1" = 10'  
By:  
VST  
Job No.:  
22210



### FINE GRADING NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. THE CONTRACTOR SHALL VERIFY ALL ROUGH GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE GENERAL CONTRACTOR, LANDSCAPE ARCHITECT AND CIVIL ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- SEE SURVEY FOR ROAD SURFACE ELEVATIONS, ROADWAY SECTIONS, CATCH BASINS, SIDEWALKS, AND TOP OF CURB ELEVATIONS.
- CONTRACTORS ARE TO EXERCISE EXTREME CARE IN BACKFILLING AND COMPACTING ANY EXCAVATION OR TRENCHING IN AREAS PREVIOUSLY COMPACTED FOR OTHER ASPECTS OF THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED BY THEIR CONSTRUCTION OPERATIONS.
- ALL ON-GRADE AREAS MARKED FOR PLANTING SHALL BE VERIFIED BY THE FINE GRADING CONTRACTOR, THAT THEY ARE WITHIN A TENTH OF A FOOT OF FINAL GRADE. THE LANDSCAPE CONTRACTOR SHALL RIP COMPACTED ROUGH GRADED SOIL TO A DEPTH OF 12 INCHES IN BOTH DIRECTIONS, THEN TILL IN THE SOIL AMENDMENT. SOIL AMENDMENT SHALL BE DETERMINED BY AN AGRICULTURAL SUITABILITY ANALYSIS (SEE PLANTING NOTE 5). A MINIMUM OF ONE FOOT DEPTH OF NONMECHANICALLY COMPACTED SOIL IS AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
- REVIEW STRUCTURAL SOILS REPORT FOR RECOMMENDATIONS ON SOIL TYPE, GRADING PROCEDURES, SOIL COMPACTION, MAXIMUM ALLOWABLE SLOPES, FLATWORK BASE MATERIAL, ETC. COPIES OF THE REPORT ARE AVAILABLE FROM THE OWNER.
- MINIMUM PAVING SLOPE TO BE TYPICALLY 1 PERCENT. MINIMUM PLANTING AREA SLOPE TO BE TYPICALLY 2 PERCENT. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR A DECISION PRIOR TO FINE GRADING.
- GROUND COVER / SHRUB AREAS: FINISH GRADES SHALL BE 2" INCHES BELOW THE TOP OF ADJACENT PAVEMENT, HEADERS, CURBS, OR WALLS, UNLESS OTHERWISE SPECIFIED. FINISHED GRADES ARE DETERMINED AFTER THE APPLICATION OF ALL SOIL AMENDMENTS. LOWER HEADERS WHERE REQUIRED TO ALLOW WATER TO FLOW TO DRAINAGE STRUCTURES.

### GENERAL LAYOUT NOTES:

- THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE BUILDER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF BUILDING, WALL, FACE OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF STREET OR COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- WALK SCORING, EXPANSION JOINTS AND HEADERS SHALL BE LOCATED AS INDICATED ON THE PLANS OR AS FIELD ADJUSTED UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS TO VERIFY LOCATION OF ALL ON-SITE UTILITIES BEFORE COMMENCING WITH THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE CITY OF SAN LEANDRO CONDITIONS OF APPROVAL, STANDARD PLANS AND SPECIFICATIONS AS REQUIRED.
- 811 DIG SERVICE ALERT SHALL BE REQUESTED AT BEFORE ANY EXTERIOR EXCAVATION OR DEMOLITION.

### MWEO CERTIFICATE OF COMPLETION

THE FOLLOWING LANDSCAPE DOCUMENTATION IS TO BE SUBMITTED TO THE PROPERTY OWNER AT TIME OF FINAL INSPECTION:

CERTIFICATE OF COMPLETION:	Completed by Property Owner or Landscape Architect
CERTIFICATE OF INSTALLATION:	To Be Completed by the Landscape Contractor and Provided to the Property Owner at the time of Final Inspection
SCHEDULE OF LANDSCAPE MAINTENANCE:	Provided by the Landscape Contractor to the Property Owner at the time of Final Inspection
SOIL MANAGEMENT REPORT:	N/A - Prescriptive Compliance Option D
LANDSCAPE AUDIT REPORTS:	N/A - Prescriptive Compliance Option D

NOTE: IN ADDITION, PLEASE REFER TO SEPARATE, COMPLETED 8X11" CITY FORMS TRANSMITTED AT LANDSCAPE SUBMITTAL II IN JULY, 2022

NOTE:  
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION LANDSCAPING ORDINANCE, "APPENDIX D" AND APPLIED THEM TO THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Aaron W. Reddick*  
AARON W. REDDICK 12.16.2022  
CA L.A.#6477  
LOW WATER LANDSCAPES

NOTE: THE INSTALLATION OF THE PROJECT LANDSCAPE PLAN WILL REQUIRE A CERTIFICATE OF INSTALLATION AND A CERTIFICATE OF COMPLETION BY THE LANDSCAPE CONTRACTOR (SEE MWEO CERTIFICATE BOX ON MWEO COMPLIANCE SHEET L-3.0)

APPLICABLE CODES:  
2019 CALIFORNIA BUILDING CODE VOL 1 & 2  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA PLUMBING CODE

### NOTE: PRESCRIPTIVE COMPLIANCE APPENDIX D (UNDER 2,500 SF)

TOTAL IRRIGATED LANDSCAPE AREA:	1,420 SF	100.0%
LOW WATER USE PLANTING AREA:	1,345 SF	94.7%
MODERATE WATER USE PLANTING AREA:	75 SF	5.2%
HIGH WATER USE PLANTING AREA:	0 SF	0.0%
TOTAL:	1,420 SF	100.0%

NOTE: DMA SUMMARY TABLE ON CIVIL VTPM-2 LISTS TOTAL PERVIOUS LANDSCAPE PLANTING AREA TOTALS AS 1,407.  
1,407-13 SF ON CORNER PERVIOUS BUT NOT PLANTED  
+26 SF IRRIGATED ALLEY POCKETS (UNDER ROOFLINE)  
=1,420 SF IRRIGATED LANDSCAPE AREA

GRAPHIC LEGEND KEY	
	PROPERTY LINE
	CENTERLINE
	GRADE BREAK
	CONCRETE SCORE JOINT
	CONCRETE EXPANSION JOINT
	(EX) TREE REMAIN
	(EX) TREE REMOVE
ABBREVIATIONS	
AD	AREA DRAIN
BBK	GRADE BREAK CHANGE
BS	BOTTOM OF STEP ELEVATION
BW	BOTTOM OF WALL ELEVATION
DBH	DIAMETER AT BREAST HT.
DS	DOWN SPOUT LATERAL
EX	EXISTING
FE	FINISHED FLOOR ELEVATION
FG	FINISH GRADING ELEVATION
FS	FINISHED SURFACE ELEVATION
FS	OUTDOOR ELECTRICAL OUTLET
HB	HOSE BIB
HP	HIGH POINT
HT	HEIGHT
JLT	JOINT UTILITY TRENCH
LW	LOW WATER USE PLANT
MW	MODERATE WATER USE PLANT
OH	OVERHEAD POWER/PHONE LINE
P.A.	PLANTING AREA
P.P.	POURED IN PLACE CONCRETE
P.O.C.	POINT OF CONNECTION
R/E	RIVER ELEVATION
SC	SCIENCE LIGHT
SSCQ	SANITARY STORM CLEANOUT
SLA	SPECIAL LANDSCAPE AREA
SL	SEWER LATERAL LINE
LT	LIGHTING TRANSFORMER BOX
TS	TOP OF STEP ELEVATION
TW	TOP OF WALL ELEVATION
WT	TYPICAL
W	WATER LINE
WNW	WINDOW
	HOSE BIB
	DOWNSPOUT
	ELECTRICAL OUTLET
	PLANTING AREA
	SEWER MANHOLE
	SEWER CLEANOUT
SEE FULL SPECIFICATIONS ON IRRIGATION DESIGN PLAN	
	IRRIGATION VALVE-SPRINKLER
	IRRIGATION VALVE-DRIP
	PLASTIC VALVE BOX 14"x19"
	GATE VALVE
	FLOW SENSOR
	MASTER VALVE
	WATER METER
UNDERGROUND WATER LINE	
	POINT OF CONNECTION
	IRRIGATION CONTROLLER
	RAIN SENSOR
	PRESSURE VACUUM BREAKER
	ELECTRIC METER
	GAS METER
	AIR CONDITIONING UNIT

### NEW MATERIALS GRAPHIC LEGEND

	1,072 SF / 9 CU. YARDS BLACK CHIP MULCH 3" THICK OVER COMMERCIAL GRADE 3 OZ. WEED FABRIC.
	335 SF / 3 CU. YARDS 2.5" ROCK COBBLE COVER OVER COMMERCIAL GRADE 3 OZ. WEED FABRIC TYPE: 2" SIZE RIVER COBBLE
	1,587 SF PERMEABLE VEHICULAR RATED INTERLOCKING PAVERS TYPE: BASALTITE, 'PERMEABLE MISSION' PATTERN: SINGLE BASKET WEAVE COLOR: POSITANO
	748 SF PERMEABLE PEDESTRIAN PAVEMENT WALKWAY TYPE: BASALTITE, MISSION SERIES PATTERN: 4"X8" RUNNING BOND COLOR: POSITANO
	128 LF PAVER EDGE RESTRAINT (PEDESTRIAN WALKWAY ONLY)
	VEHICULAR CONCRETE, SIDEWALKS & DRIVEWAY APRON. APRONS PER CITY STANDARD DETAILS, S.C.D.

### SITE LAYOUT PLAN SCALE 1/8th=1'-0"



PROJECT TYPE:  
SITE-WIDE LANDSCAPE  
COMPLIANCE PLANS  
INCLUDING MWEO

OWNER:  
Chaitanya Upgunduri  
33837 6th St.  
Union City, CA 94587  
505.353.1173

ARCHITECTURE:  
ELOIAN ARCHITECTS, INC  
www.ELOIAN.com  
415.966.1110

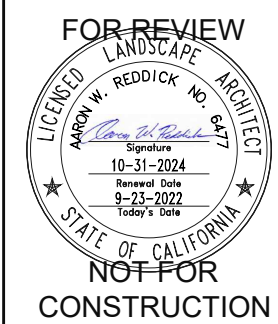
SURVEY PLAN BY:  
MLB Engineering  
5832 Jamieson Ave.  
Encino, CA 91316  
818.533.3181

Lot Size: 12,588 S.F.

SHEET TITLE:  
SITE LAYOUT PLAN & NOTES  
13489 East 14th Street  
San Leandro, CA 94578

ISSUED		
#	DATE	PRODUCT
1	12.28.2021	LANDSCAPE SUBMITTAL I
2	07.12.2022	LANDSCAPE SUBMITTAL II
3	09.22.2022	LANDSCAPE SUBMITTAL III
4	12.15.2022	LANDSCAPE SUBMITTAL IV

REVISIONS	
	07.10.2022 SUB SET II



CITY OF SAN LEANDRO  
PLAN #22-0006  
SCALE: AS SHOWN  
DATE: 12.15.2022  
APN# 770-1405-001-01

SHEET NO.  
1 OF X

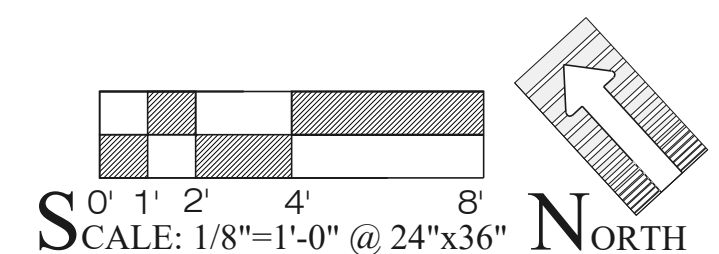
L-1.0

## LANDSCAPE SHEET SCHEDULE

L-1.0 SITE LAYOUT PLAN & NOTES  
L-2.0 HARDSCAPE DETAILS  
L-3.0 IRRIGATION DESIGN PLAN  
L-4.0 PLANTING PLAN & NOTES

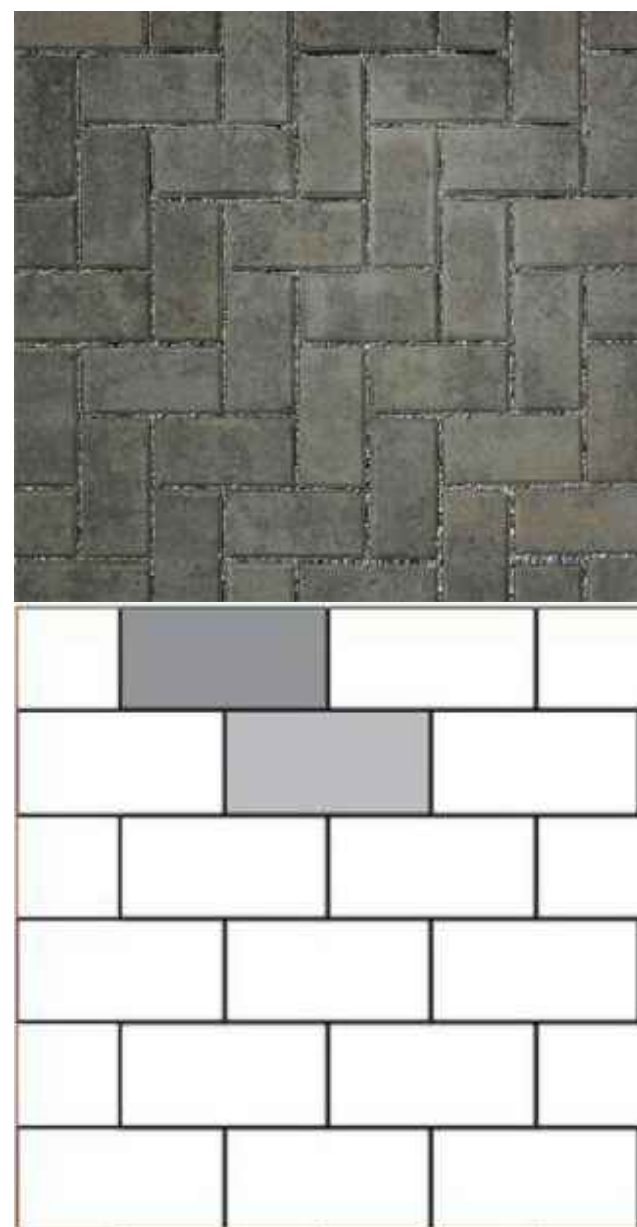
0' 1' 2' 4' 8'  
SCALE: 1/8"=1'-0" @ 24"x36" NORTH





## 2 PERMEABLE PEDESTRIAN PAVER WALKWAY

SCALE: N.T.S.





### IRRIGATION MAINLINE EQUIPMENT

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	--	--	EXISTING WATER METER. VERIFY LOCATION IN FIELD.
	NIBCO	T18-1	1" BRASS GATE VALVE, FNPT, PROVIDE IN ROUND VALVE BOX AS PER DETAIL ON SHEET L-2.1
	WILKINS	710 PRESSURE VACUUM BREAKER 3/4" MODEL, FPT	3/4" CAST BRONZE PRESSURE VACUUM BREAKER WITH FEMALE PIPE THREAD TO PREVENT BACKSIPHONAGE OF CONTAMINATED WATER INTO THE POTABLE WATER SUPPLY. MOUNTED AT A MINIMUM OF 12" ABOVE THE HIGHEST PIPING OR OUTLET DOWNSTREAM.
	HUNTER	1" ICV SERIES	MASTER VALVE, NORMALLY CLOSED POSITION WIRED TO CONTROLLER PER CONTROLLER WIRING MANUAL & LOCATED BETWEEN BACKFLOW PREVENTER FLOW SENSOR. PROVIDE IN ROUND VALVE BOX. SEE DETAIL SHEET L-2.1
	HUNTER	HC-FLOW 100	HC FLOW METER FOR HYDRAWISE WITH 1" NPT MALE ADAPTER, CONNECTED TO CONTROLLER FOR WATER LOSS PREVENTION
	HUNTER	X-CORE, XC-600	6-STATION OUTDOOR CONTROLLER, 120V, WITH WIRELESS RECEIVER, WALL MOUNTED PER MANUAL
	HUNTER	WSS-SEN	WIRELESS SOLAR SYNC SENSOR, RECEIVER, AND GUTTER MOUNT. INSTALL PER MANUAL

### VALVE DESIGNATORS & IRRIGATION PIPING

SYMBOL	TYPE	DESCRIPTION
	PRESSURE MAIN LINE	PVC CLASS 315 FOR SIZES 2" AND LARGER, PVC SCHEDULE 40 FOR SIZES 1-1/2" AND SMALLER (SIZE AS NOTED).
	NON-PRESSURE LATERAL	PVC SCHEDULE 40 (SIZE AS NOTED)
NOT SHOWN	CONDUIT	PVC SCHEDULE 40 - 2" MIN. DIAMETER FOR LOW VOLTAGE WIRING.
	SLEEVE	PVC SCHEDULE 40 - TWICE THE DIAMETER OF THE LINE SIZE MINIMUM OR AS NOTED ON PLAN. INSTALL 12" BELOW FINISHED GRADE, EXTEND 12" PAST END OF PAVING.
	INDICATES	CONTROLLER LETTER DESIGNATION AND STATION NUMBER.
	INDICATES	FLOW IN GALLONS PER MINUTE
	INDICATES	ELECTRIC CONTROL VALVE SIZE
	INDICATES	TYPE OF PLANT MATERIAL BEING IRRIGATED. D=DRIP FOR SHRUBS / GROUND COVER B=BUBBLERS FOR TREES OR S=OVERHEAD SPRAY
	INDICATES	HYDROZONE AREA. L = LOW, M = MODERATE, H = HIGH
	PSI REGULATED AT VALVE BY PRESSURE REDUCER.	30 PSI FOR 17 MM DRIP. 25 FOR TRADITIONAL DRIP.

### IRRIGATION VALVE & 17 MM DRIP EQUIPMENT

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	HUNTER	PGV-100-G	BELOW GROUND 1" REMOTE CONTROL VALVE, WITH FACTORY INSTALLED ATMOSPHERIC ANTI-SIPHON. ADD PRESSURE REDUCER FOR ALL 25 PSI 17 MM DRIP ZONES (NOT ON TREE BUBBLER ZONES). PROVIDE IN BANKS OF 2 PER VALVE BOX.
	HUNTER	PGV-100-G	1" REMOTE CONTROL VALVE, FULL PRESSURE (40 PSI) FOR TREE BUBBLER ZONE & LAWN SPRINKLER ZONE INSTALL IN VALVE BOX.
	DRIPLINE LANDSCAPE PRODUCTS	EQUIVALENT TO HUNTER PLD OR RAINBIRD XFS	DRIPPER LINE WITH 0.4 GPH FLOW RATE AND 12" DRIPPER SPACING, PLACED AT 18" ROW SPACING. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS. DO NOT EXCEED 430 L.F. LENGTH IN SINGLE RUN. INSTALL ONE PRESSURE RELIEF VALVE AT BOTTOM OF RUN & ONE AIR RELEASE VALVE AT HIGHEST POINT OF ZONE.
	DRIPLINE LANDSCAPE PRODUCTS	EQUIVALENT TO HUNTER PLD OR RAINBIRD XFS	DRIPPER LINE WITH 0.6 GPH FLOW RATE, 12" DRIPPER SPACING, PLACED AT 18" ROW SPACING. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS. DO NOT EXCEED 430 L.F. LENGTH IN SINGLE RUN. INSTALL ONE PRESSURE RELIEF VALVE AT BOTTOM OF RUN & ONE AIR RELEASE VALVE AT HIGHEST POINT OF ZONE.

### IRRIGATION LEGEND - POPUP TREE BUBBLER HEADS

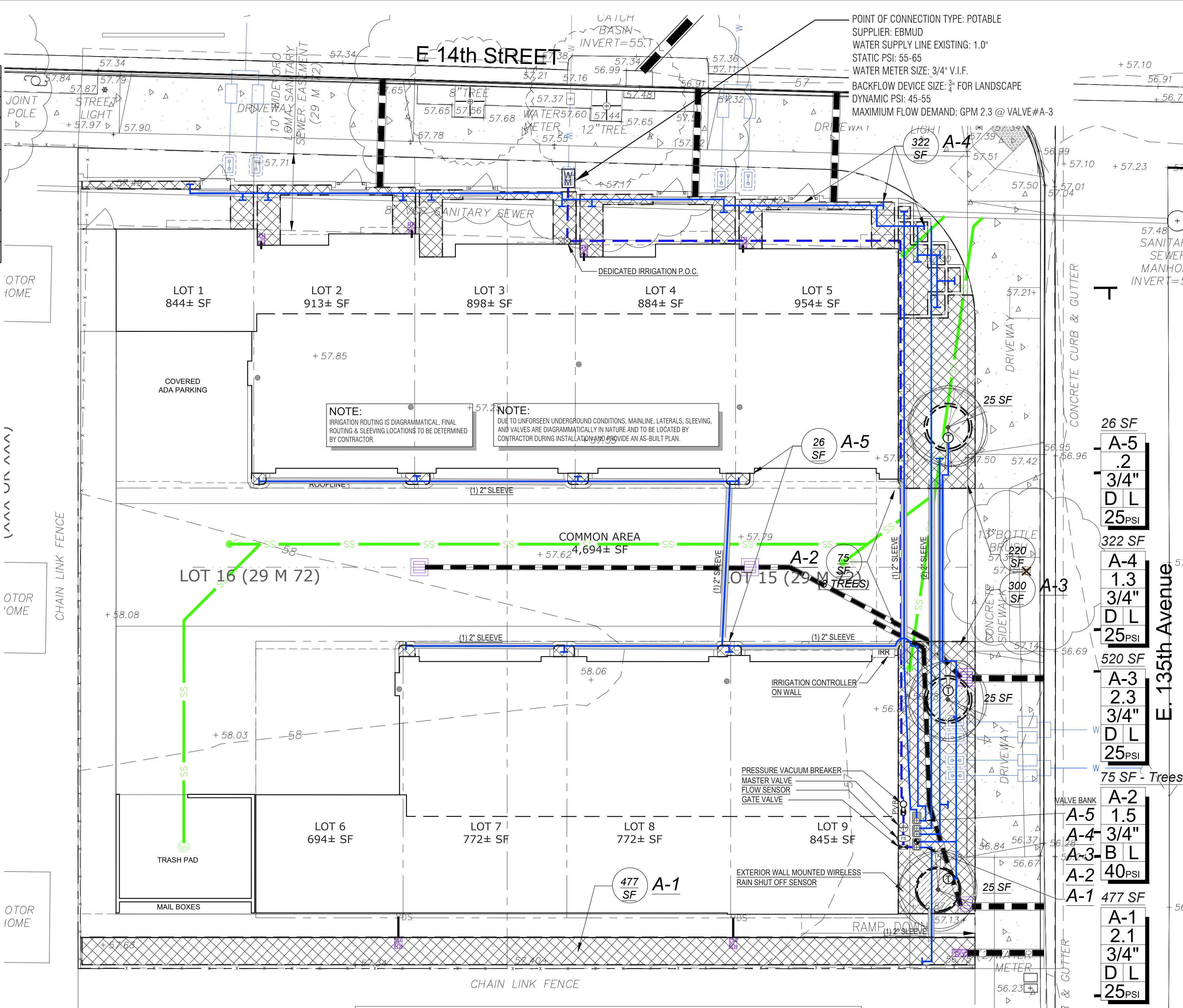
SYMBOL	BODY DESCRIPTION	NOZZLE DESCRIPTION	RADIUS / ACTUAL ADJUSTED	FLOW	PSI	PRECIP. RATE (INCHES)	PATTERN
	HUNTER PROS-06-PCB	INSTALL 1 PER SMALL TREE ON 6" HIGH PRESSURE COMP. RISER	--	.50 GPM	40	--	TRICKLE

#### LATERAL LINE SIZING CHART

GALLONS PER MINUTE	PIPE SIZE
1-5	3/4"
6-10	1"
11-20	1 1/4"
21-30	1 1/2"
31-55	2"

### GENERAL IRRIGATION NOTES:

- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL EXCEPT WITHIN THE TPZ OF PROTECTED TREES, WHICH SHALL RECEIVE 4 - 6" OF HARDWOOD CHIP MULCH.
- ALL NEW PLANTING AREAS FOR TREES, SHRUBS, PLANTS AND GROUND COVER SHALL RECEIVE 3" OF ORGANIC MULCH
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- IRRIGATION ROUTING IS DIAGRAMMATICAL. FINAL ROUTING & SLEEVING LOCATIONS TO BE DETERMINED BY CONTRACTOR. AVOID ANY CONFLICTS BETWEEN THE DRIP SYSTEM, BUBBLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- DUE TO UNFORSEEN UNDERGROUND CONDITIONS, MAINLINE, LATERALS, SLEEVING, AND VALVES ARE DIAGRAMMATICAL IN NATURE AND TO BE LOCATED BY CONTRACTOR DURING INSTALLATION AND PROVIDE AN AS-BUILT PLAN AS NEEDED.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE OF 50 DYNAMIC PSI AT THE VALVES AND THE MAXIMUM FLOW OF 2.4 GPM AT VALVE #A-3 AS SHOWN ON THE IRRIGATION DRAWINGS AT THE METER OR POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL VALVES BY THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- INSTALL ALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN THE DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL PVC MALE PIPE THREADS
- CONTRACTOR SHALL PROGRAM IRRIGATION CONTROLLER TO OPERATE AS FOLLOWS POST-CONSTRUCTION: VALVES SHALL ONLY BE TURNED ON BETWEEN THE HOURS OF 10:00 P.M. AND 6:00 A.M.
- DRIP ZONES CONSIST OF BUILT IN EMITTER LINES, HOWEVER EACH ZONE SHALL HAVE (1) AIR-RELEASE VALVE AT THE HIGHEST POINT OF THE SYSTEM & ONE AUTOMATIC FLUSH VALVE AT THE LOWEST POINT OF THE ZONE (SEE LEGEND).
- DO NOT INSTALL FILTER BASKETS OR PRESSURE REDUCERS FOR 17 MM DRIP LINES AS COMPONENTS ARE DESIGNED FOR 40 PSI OPTIMAL.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
- IN ADDITION TO THE CONTROL WIRE NECESSARY FOR THE REMOTE CONTROL VALVES SHOWN ON THE DRAWING, THE CONTRACTOR SHALL PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF A COMPLETE SET OF SPARE CONTROL WIRES, LOOPED, WITHIN EACH VALVE BOX.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BE FAMILIARIZED WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.



### IRRIGATION HYDROZONE / DESIGN PLAN SCALE 1/8th"=1'-0"

#### WATER EFFICIENT LANDSCAPE WORKSHEET

**PROJECT:** 13489 E. 14th St  
**LOCATION:** San Leandro, CA 94578  
**JOB#:** 21-09-13489 E 14th St  
**DATE:** 12.16.2022

#### Appendix B

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET <sub>o</sub> )			44.2				
Hydrozone # (Planting Description) <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
Regular Landscape Areas							
A1 Shrub/GC	0.30	Bubblers/Drip	0.81	0.37	477	176.67	4841
A2 Tree	0.50	Bubblers/Drip	0.81	0.62	75	46.30	1,269
A3 Shrub/GC	0.30	Bubblers/Drip	0.81	0.37	520	192.59	5,278
A4 Shrub/GC	0.30	Bubblers/Drip	0.81	0.37	322	119.26	3,368
A5 Shrub/GC	0.30	Bubblers/Drip	0.81	0.37	26	9.63	264
Totals					1,420	544	14,920
Special Landscape Areas							
Totals					0	0.00	0

<sup>a</sup> Hydrozone #/Planting Description  
E.g.  
1.) front lawn  
2.) low water use plantings  
3.) medium water use plantings

<sup>b</sup> Irrigation Method  
overhead spray  
or drip

<sup>c</sup> Irrigation Efficiency (IE)<sup>f</sup>  
0.75 for spray head  
0.81 for drip

<sup>d</sup> ETWU (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

<sup>e</sup> MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

#### ETAF Calculations

<b>Regular Landscape Areas</b>	
Total ETAF x Area	544
Total Area	1,420
Average ETAF	0.38
<b>All Landscape Areas</b>	
Total ETAF x Area	544
Total Area	1,420
Site-wide ETAF	0.38

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential



SCALE: 1/8"=1'-0" @ 24"x36" NORTH

### NOTE: PRESCRIPTIVE COMPLIANCE APPENDIX D (UNDER 2,500 SF)

TOTAL IRRIGATED LANDSCAPE AREA:	1,420 SF	100.0%
LOW WATER USE PLANTING AREA:	1,345 SF	94.7%
MODERATE USE TREE AREAS:	75 SF	5.2%
HIGH WATER USE TURF AREA:	0 SF	0.0%
TOTAL:	1,420 SF	100.0%

NOTE: DMA SUMMARY TABLE ON CIVIL VTPM-2 LISTS TOTAL PERVIOUS LANDSCAPE PLANTING AREA TOTALS AS 1,407. 1,407-13 SF ON CORNER PERVIOUS BUT NOT PLANTED +26 SF IRRIGATED ALLEY POCKETS (UNDER ROOFLINE) =1,420 SF IRRIGATED LANDSCAPE AREA

Low Water Landscapes, Inc.  
Landscape Architecture + Planning  
Folsom, CA 95630  
1515-200-3094  
LowWaterLandscapes.com

PROJECT TYPE:  
SITE-WIDE LANDSCAPE COMPLIANCE PLANS INCLUDING MWELO

OWNER:  
Chaitanya Upgunduri  
33837 6th St  
Union City, CA 94587  
505.353.1173

ARCHITECTURE:  
ELOMAN ARCHITECTS, INC  
www.ELOMAN.com  
415.966.1110

SURVEY PLAN BY:  
MLB Engineering  
5832 Jamieson Ave.  
Encino, CA 91316  
818.533.3181

Lot Size: 12,588 S.F.

SHEET TITLE:  
IRRIGATION DESIGN PLAN  
13489 East 14th Street  
San Leandro, CA 94578

ISSUED

#	DATE	PRODUCT
1	12.28.2021	LANDSCAPE SUBMITTAL I
2	07.12.2022	LANDSCAPE SUBMITTAL II
3	09.22.2022	LANDSCAPE SUBMITTAL III
4	12.15.2022	LANDSCAPE SUBMITTAL IV

REVISIONS

#	DATE	SUB SET II
1	07.10.2022	SUB SET II

FOR REVIEW

APPROVED BY: AARON W. REDDICK  
DATE: 12.16.2022

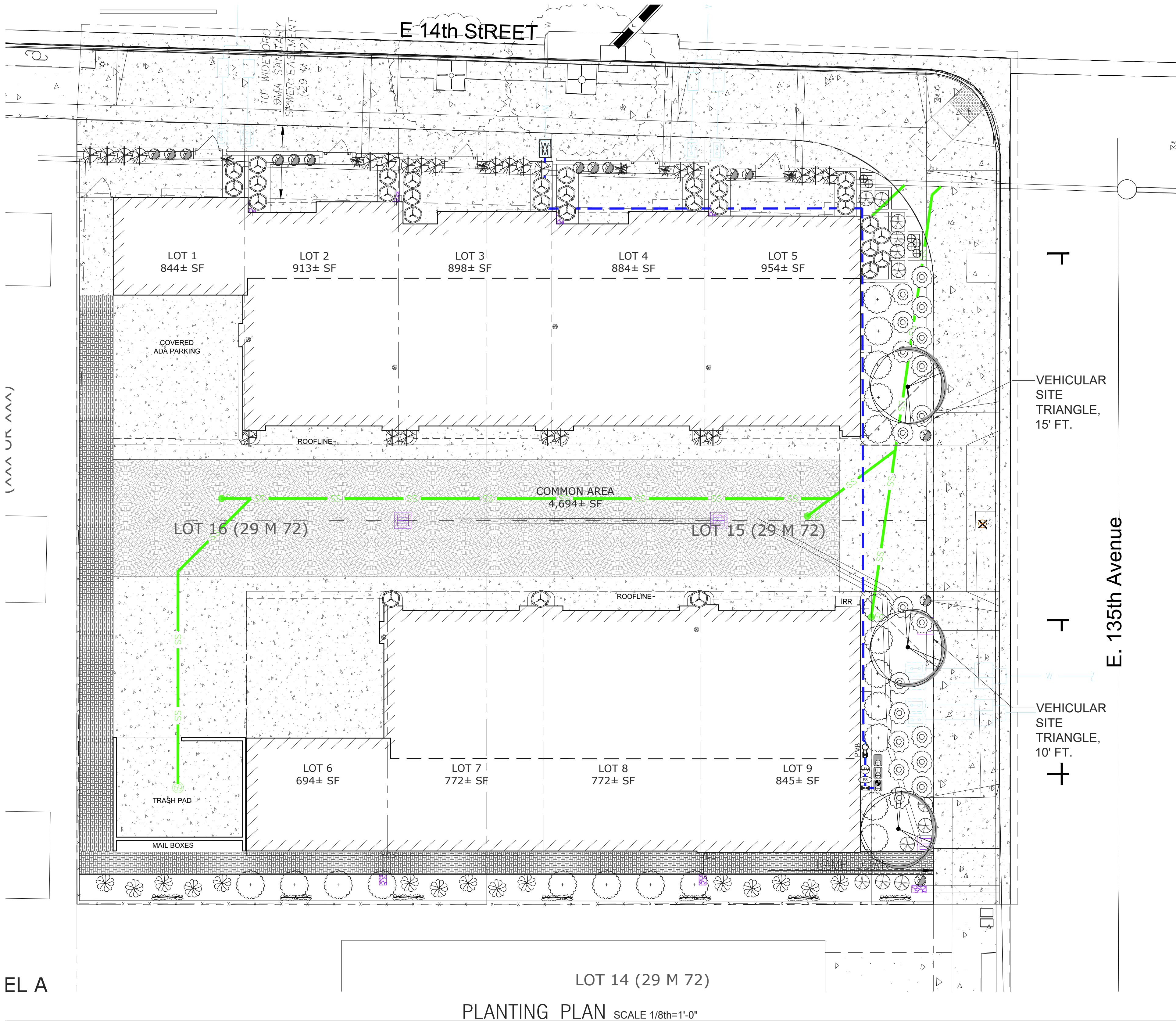
NOT FOR CONSTRUCTION

CITY OF SAN LEANDRO  
PLN #22-0006

SCALE: AS SHOWN  
DATE: 12.15.2022  
APN# 770-1405-001-01

SHEET NO.  
3 OF 4  
L-3.0





PLANTING SCHEDULE - 13489 E. 14th St.							Version III
SYMBOL	QUANT.	NURSERY SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS RATING	SIZE H X W	COMMENTS
TREES							
	3	24" BOX	RHAPHIOLEPSIS INDICA 'MAGNIFICANT'	PINK INDIAN HAWTHORN	LOW	20' X 8'	STANDARD FORM
SHRUBS							
	19	5 GAL.	CISTUS LADANIFER	CRIMSON-SPOT ROCKROSE	LOW	1.5' X 3'	-
	31	5 GAL.	NANDINA DOMESTICA 'FIREPOWER'	'FIREPOWER' HEAVENLY BAMBOO	LOW	2' X 2'	-
	20	5 GAL.	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE' DWARF OLIVE	LOW	3' X 5'	-
SUCCULENTS							
	6	2 GAL.	ALOE STRIATA	CORAL ALOE	LOW	2' X 2'	-
ORNAMENTAL GRASSES							
	25	5 GAL.	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	LOW	4' X 2'	-
	12	1 GAL.	LOMANDRA LONGIFOLIA 'LIME TUFT'	LIME TUFT' DWARF MAT RUSH	LOW	2' X 2'	-
GROUNDCOVERS							
	14	1 GAL.	APTENIA CORDIFOLIA 'RED APPLE'	RED APPLE APTENIA	LOW	1' X 2'	-
	6	1 GAL.	SENECIO MANDRALISCAE	BLUE SENECIO	LOW	6" X 2'	-
	15	1 GAL.	TEUCRIUM CHAMAEDRY'S	WALL GERMANDER	LOW	1' X 3.5'	SPACING 4' O.C.
VINES							
	7	1 GAL.	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	LOW	8' X 1'	STAKED VINE ON WALL

PLANTING SCHEDULE

PLANTING NOTES

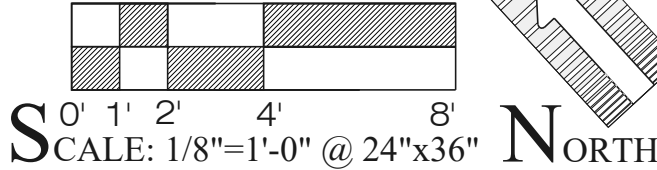
- THE SCOPE OF THE PLANTING WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
- A. ORDERING AND DELIVERY OF THE PLANT MATERIALS TO THE SITE.
  - B. SOIL PREPARATION AND CONDITIONING.
  - C. FINE GRADING OF ALL LANDSCAPE AREAS, INCLUDING SUPPLYING AND INSTALLING AMENDMENTS OR IMPORTED TOPSOIL AS DESCRIBED ON THE DRAWINGS AND AS REQUIRED BY THE RECOMMENDATIONS OF THE SOILS TESTING REPORT.
  - D. COORDINATION OF ADDITIONAL DRAINAGE WORK AS SHOWN ON THE DRAWINGS.
  - E. SOIL TESTING BY LANDSCAPE CONTRACTOR.
  - F. INSTALLATION OF PLANT MATERIALS.
  - G. NINETY (90) DAY MAINTENANCE PERIOD.
  - H. REPLACEMENT OF ALL UNSATISFACTORY PLANT MATERIALS.
  - I. FINAL APPROVAL
  - J. WARRANTY
1. PLANT LOCATIONS ARE DIAGRAMMATIC AND ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT IMPEDE ACCESS.
  2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF SAN LEANDRO, THE EAST 14TH STREET SOUTH AREA DEVELOPMENT STRATEGY AND COUNTY & STATE REQUIREMENTS.
  3. PLANTING AREAS REQUIRE MULCH TO A DEPTH OF 3" MINIMUM FOR SOIL MOISTURE RETENTION, EROSION CONTROL, & SOIL HEALTH.
  4. APPLY AGRIFORM OR 'BEST' BRAND FERTILIZER TABLETS OR PACKETS TO ALL NEW TREES & 1, 5, AND 15 GALLON SIZE SHRUBS. DO NOT APPLY TO SUCCULENTS.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE AT 2% MINIMUM IN PLANTING AREA EXCEPT WHERE OTHERWISE SHOWN ON CIVIL OR LANDSCAPE GRADING PLANS.
  6. ALL PLANTS BROUGHT ONTO THE SITE SHALL BE WATERED AND PROTECTED FROM EXCESSIVE WIND, SUN, FROST, PHYSICAL DAMAGE AND THEFT UNTIL INSTALLATION. ALL CONCRETE, ASPHALT, BASE COURSE MATERIALS AND OTHER DEBRIS ARE TO BE COMPLETELY REMOVED BELOW PLANTING AREAS.
  7. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL EXCEPT WITHIN THE TPZ OF PROTECTED TREES, WHICH SHALL RECEIVE 4 - 6" OF HARDWOOD CHIP MULCH.

NOTE:  
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION LANDSCAPING ORDINANCE, "APPENDIX D" AND APPLIED THEM TO THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Aaron W. Reddick*

AARON W. REDDICK 12.16.2022  
CA L.A.#6477  
LOW WATER LANDSCAPES

NOTE: PRESCRIPTIVE COMPLIANCE APPENDIX D (UNDER 2,500 SF)			
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PROJECT TYPE:  
SITE-WIDE LANDSCAPE  
COMPLIANCE PLANS  
INCLUDING MWEO

OWNER:  
Chaitanya Upugunduri  
33837 6th St.  
Union City, CA 94587  
505.353.1173

ARCHITECTURE:  
ELOIAN ARCHITECTS, INC  
www.ELOIAN.com  
415.966.1110

SURVEY PLAN BY:  
MLB Engineering  
5832 Jamieson Ave.  
Encino, CA 91316  
818.533.3181

Lot Size: 12,588 S.F.

PLANTING PLAN & NOTES  
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REVISIONS	
Δ	07.10.2022 SUB SET II
Δ	
Δ	

FOR REVIEW

APPROVED BY: *Aaron W. Reddick*

DATE: 12.16.2022

NOT FOR CONSTRUCTION

CITY OF SAN LEANDRO  
PLAN #22-00000

SCALE: AS SHOWN DRAWN BY: AARON R.  
CHECKED BY: AARON R.

APN# 77D-1405-001-01

SHEET NO.  
4 OF 4  
L-4.0